

# 8 Millennium Drive

## Site Plan In The Town Of Grafton, Massachusetts

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LOCUS MAP  
SCALE: 1"=1000'

PREPARED BY:

### HERITAGE DESIGN GROUP

PLANNERS • SURVEYORS • ENGINEERS  
LANDSCAPE ARCHITECTS

ONE MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588  
TEL 508-266-2066 - FAX 508-266-2067  
A LIMITED LIABILITY COMPANY



**Applicant**  
Nature's Remedy of Massachusetts, Inc.  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

**Owner of Record**  
85 Green Street Limited Partnership  
PO Box 55  
Worcester, Massachusetts 01613-0055

May 8, 2017

REVISIONS			
NO.	DATE	DESCRIPTION	BY
3	7/7/17	CLIENT & GRAVES REVIEW	EJB
2	6/19/17	PLANNING COMMENTS	EJB
1	6/6/17	CONSERVATION REVIEW	EJB

SITE PLAN APPROVAL & SPECIAL PERMIT  
GRAFTON PLANNING BOARD

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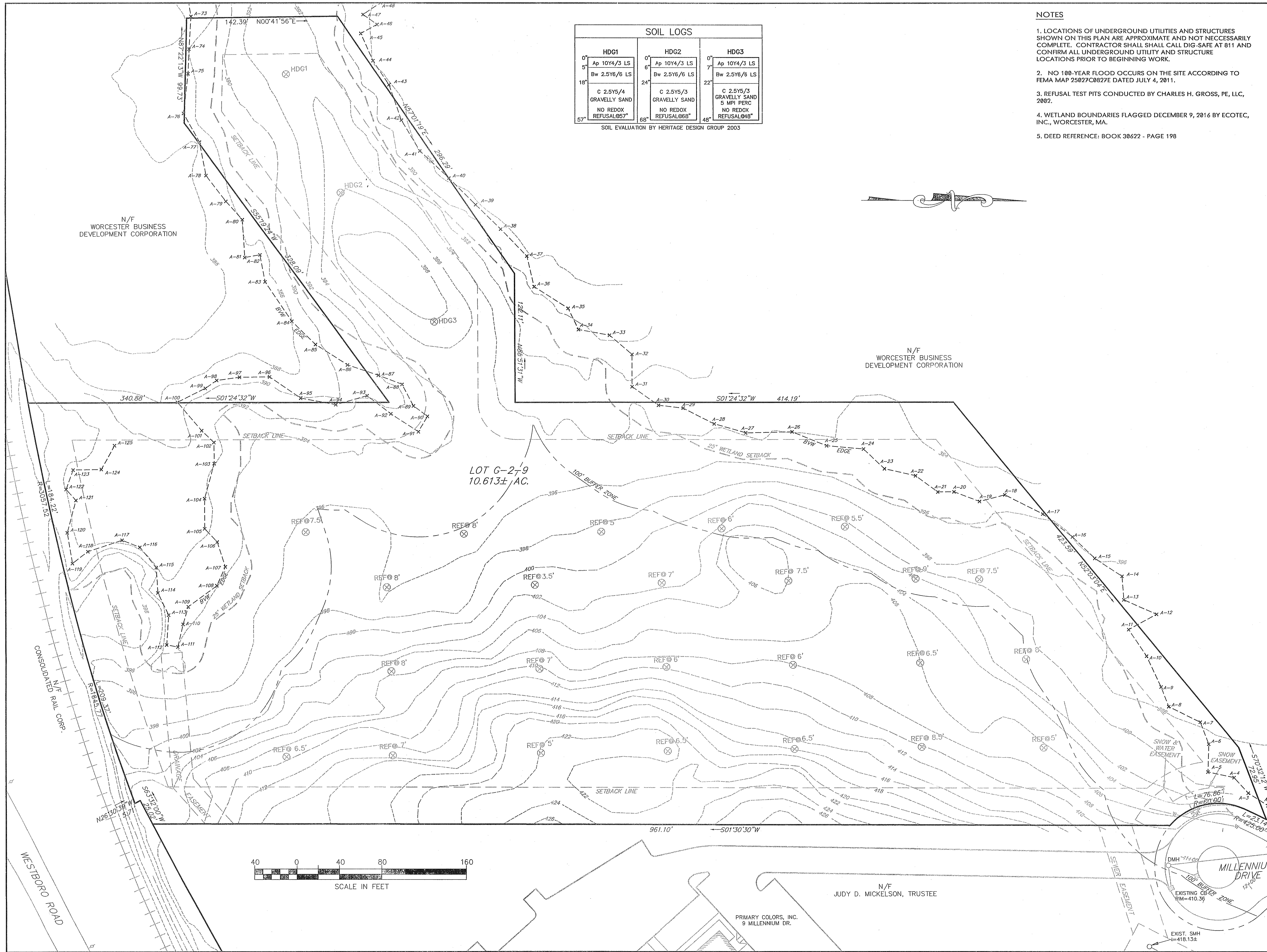
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PLANNING BOARD  
GRAFTON, MA

EXHIBIT 18  
FILE

FOR SUBMISSION ONLY



SOIL LOGS		
HDG1	HDG2	HDG3
0" Ap 10Y4/3 LS	0" Ap 10Y4/3 LS	0" Ap 10Y4/3 LS
5" Bw 2.5Y6/6 LS	6" Bw 2.5Y6/6 LS	7" Bw 2.5Y6/6 LS
18" C 2.5Y5/4 GRAVELLY SAND	24" C 2.5Y5/3 GRAVELLY SAND	22" C 2.5Y5/3 GRAVELLY SAND
NO REDOX REFUSAL 657"	NO REDOX REFUSAL 668"	NO REDOX REFUSAL 648"
57"	68"	48"

SOIL EVALUATION BY HERITAGE DESIGN GROUP 2003

NOTES

1. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT NECESSARILY COMPLETE. CONTRACTOR SHALL CALL DIG-SAFE AT 811 AND CONFIRM ALL UNDERGROUND UTILITY AND STRUCTURE LOCATIONS PRIOR TO BEGINNING WORK.
2. NO 100-YEAR FLOOD OCCURS ON THE SITE ACCORDING TO FEMA MAP 25027C0827E DATED JULY 4, 2011.
3. REFUSAL TEST PITS CONDUCTED BY CHARLES H. GROSS, PE, LLC, 2002.
4. WETLAND BOUNDARIES FLAGGED DECEMBER 9, 2016 BY ECOTEC, INC., WORCESTER, MA.
5. DEED REFERENCE: BOOK 30622 - PAGE 198

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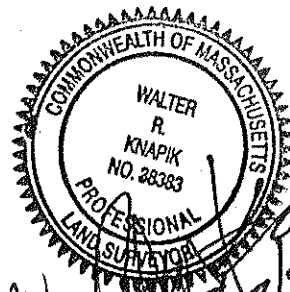
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LEGEND

- 124 EXISTING CONTOUR
- x A-17 WETLAND FLAG
- HYDRANT
- DMH DRAIN MANHOLE
- TEST PIT



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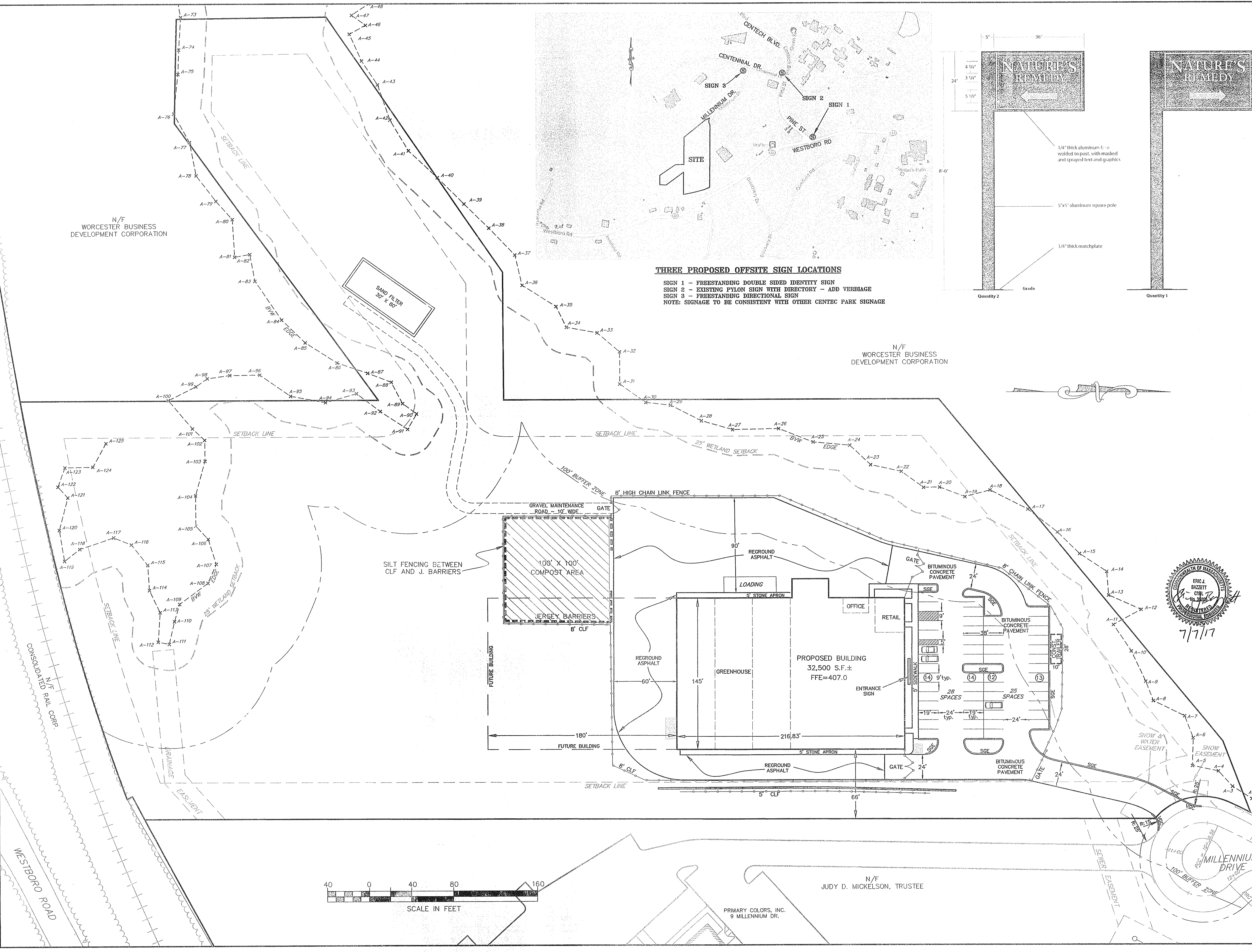
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For  
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JOB NUMBER: 2016-063 DRAWING FILE NAME: -SP1  
DRAWN BY: EJB CHECKED BY: MEA

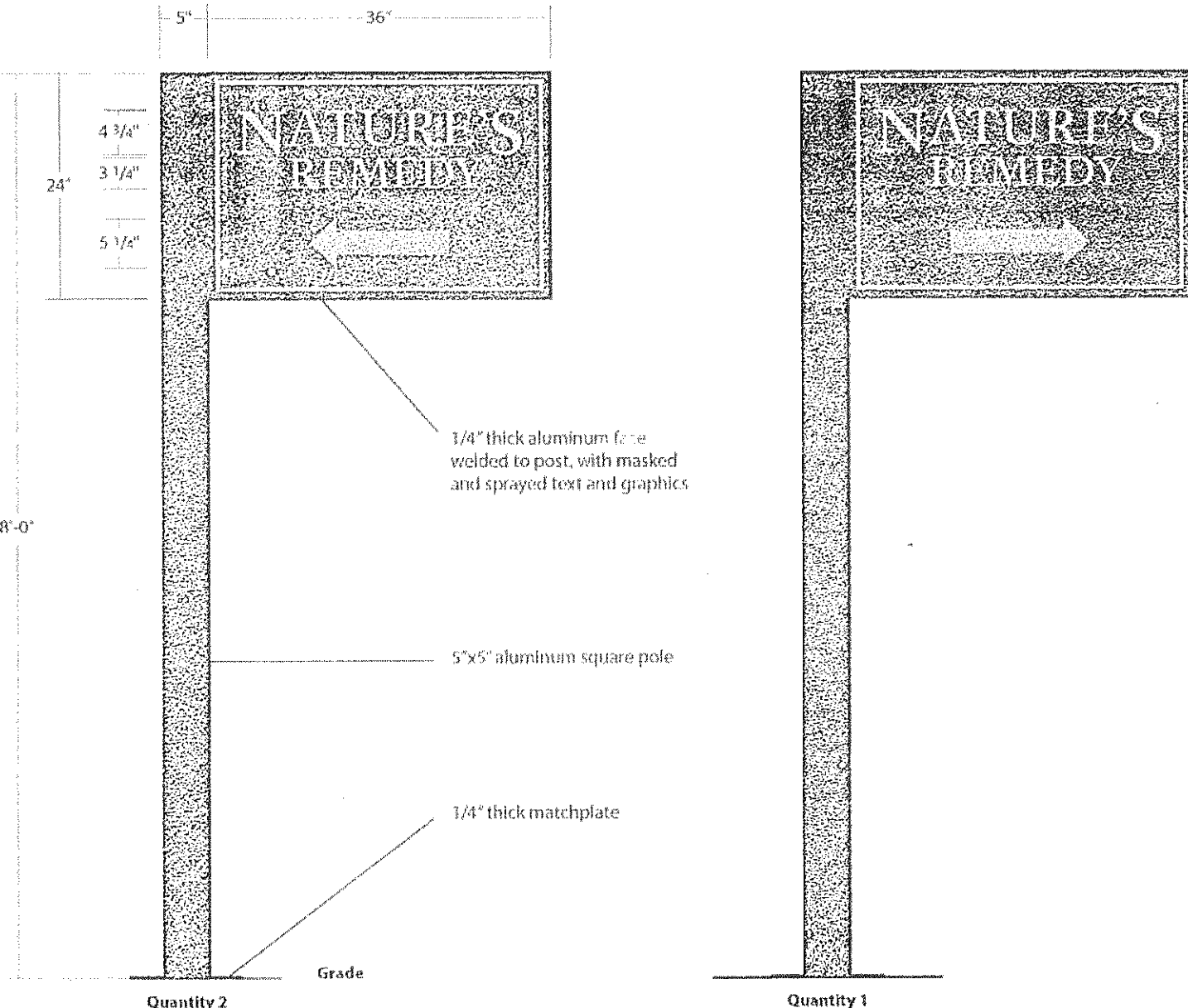
EXISTING CONDITIONS PLAN  
SHEET 2 OF 12





**THREE PROPOSED OFFSITE SIGN LOCATIONS**

SIGN 1 - FREESTANDING DOUBLE SIDED IDENTITY SIGN  
SIGN 2 - EXISTING PYLON SIGN WITH DIRECTORY - ADD VERBIAGE  
SIGN 3 - FREESTANDING DIRECTIONAL SIGN  
NOTE: SIGNAGE TO BE CONSISTENT WITH OTHER CENTEC PARK SIGNAGE



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**PROPOSED USE**

REGISTERED MARIJUANA DISPENSARY (RMD)

**DEVELOPMENT REQUIREMENTS**

ZONE CLASSIFICATION: OFFICE & LIGHT INDUSTRY  
MINIMUM LOT AREA: 40,000 S.F.  
MINIMUM LOT FRONTAGE/WIDTH: 120' (80' CUL-DESAC)  
FRONT YARD: 40'  
SIDE YARD: 35'  
REAR YARD: 35'  
MAXIMUM BUILDING COVERAGE: 40 %  
STREET SETBACK FOR PARKING & LOADING: 50'

ZONE CLASSIFICATION: CAMPUS DEVELOPMENT OVERLAY  
MINIMUM LOT AREA: 43,560 S.F.  
MINIMUM LOT FRONTAGE: 100'  
MINIMUM LOT WIDTH: 150'  
FRONT YARD: 40'  
SIDE YARD: 35'  
REAR YARD: 35'

**PARKING SCHEDULE**

RETAIL PARKING REQUIREMENT:  
1 SPACE / 150 S.F. = 5,325 S.F. / 150 = 36 SPACES @ 9'X18'  
INDUSTRIAL PARKING REQUIREMENT:  
1 SPACE / 500 S.F. = 21,300 S.F. / 500 = 43 SPACES @ 9'X18'  
TOTAL PARKING PROVIDED: 53 SPACES

**LOT COVERAGE**

BUILDINGS: 7.1 % PAVEMENT: 9.1 %  
OPEN SPACE/LANDSCAPE: 76.3 %

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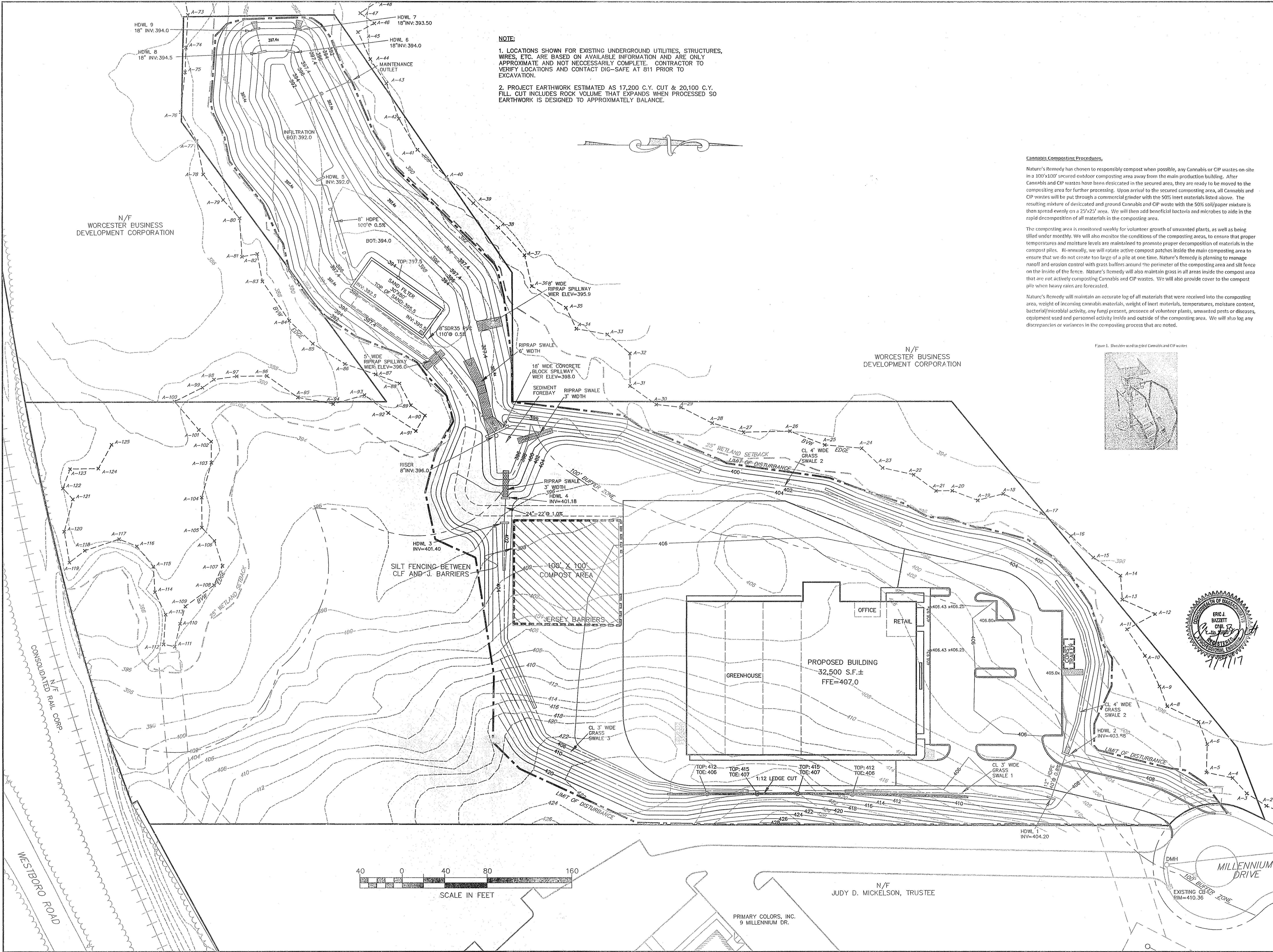
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LAYOUT PLAN  
SHEET 3 OF 12





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**LEGEND**

31.3.3v	PROPOSED SPOT GRADE
124	EXISTING CONTOUR
124	PROPOSED CONTOUR

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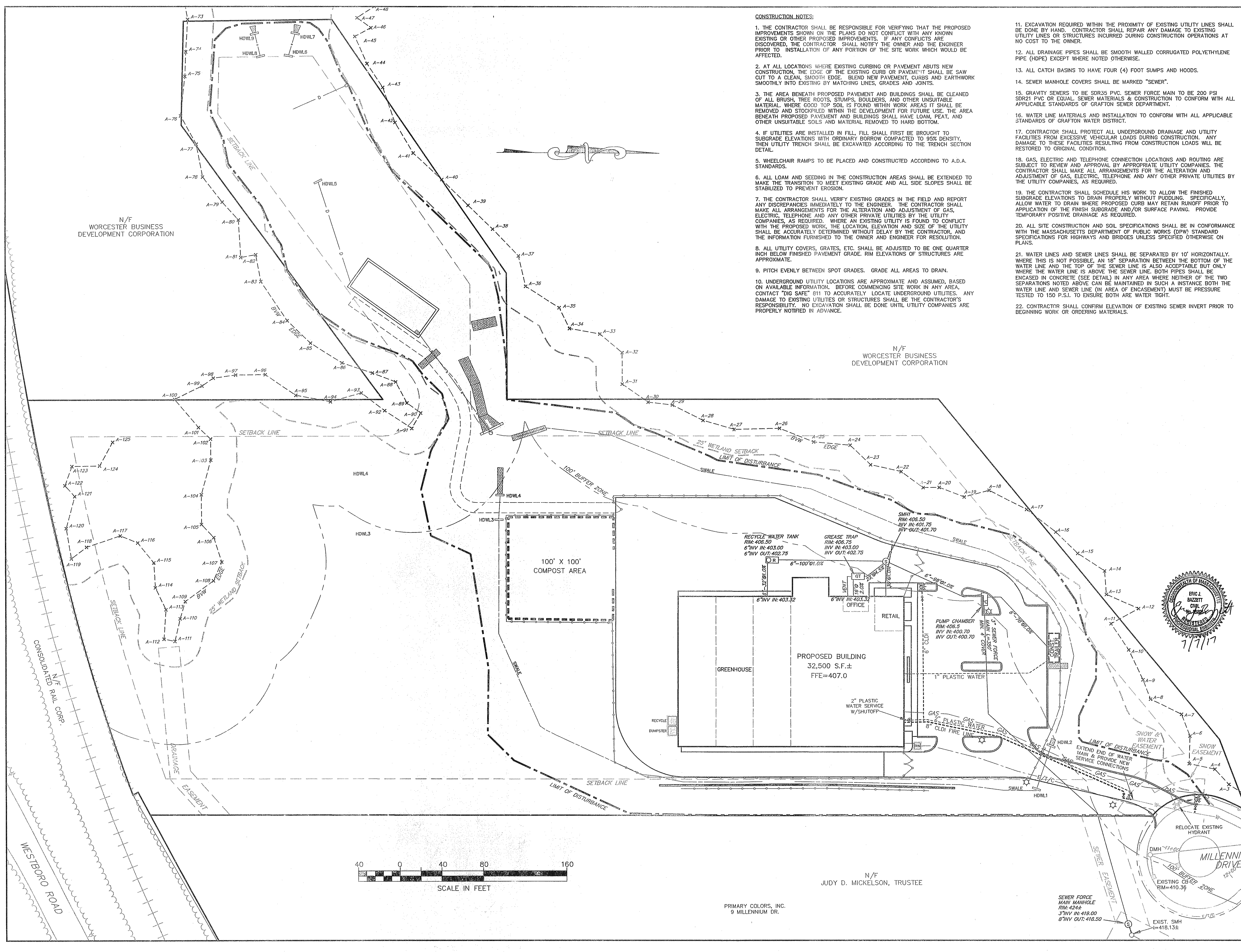
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GRADING & DRAINAGE PLAN  
SHEET 4 OF 12





- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
  2. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
  3. THE AREA BENEATH PROPOSED PAVEMENT AND BUILDINGS SHALL BE CLEANED OF ALL BRUSH, TREE ROOTS, STUMPS, BOULDERS, AND OTHER UNSUITABLE MATERIAL. WHERE GOOD TOP SOIL IS FOUND WITHIN WORK AREAS IT SHALL BE REMOVED AND STOCKPILED WITHIN THE DEVELOPMENT FOR FUTURE USE. THE AREA BENEATH PROPOSED PAVEMENT AND BUILDINGS SHALL HAVE LOAM, PEAT, AND OTHER UNSUITABLE SOILS AND MATERIAL REMOVED TO HARD BOTTOM.
  4. IF UTILITIES ARE INSTALLED IN FILL, FILL SHALL FIRST BE BROUGHT TO SUBGRADE ELEVATIONS WITH ORDINARY BORROW COMPACTED TO 95% DENSITY. THEN UTILITY TRENCH SHALL BE EXCAVATED ACCORDING TO THE TRENCH SECTION DETAIL.
  5. WHEELCHAIR RAMPS TO BE PLACED AND CONSTRUCTED ACCORDING TO A.D.A. STANDARDS.
  6. ALL LOAM AND SEEDING IN THE CONSTRUCTION AREAS SHALL BE EXTENDED TO MAKE THE TRANSITION TO MEET EXISTING GRADE AND ALL SIDE SLOPES SHALL BE STABILIZED TO PREVENT EROSION.
  7. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
  8. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE ONE QUARTER INCH BELOW FINISHED PAVEMENT GRADE. RIM ELEVATIONS OF STRUCTURES ARE APPROXIMATE.
  9. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.
  10. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND ASSUMED, BASED ON AVAILABLE INFORMATION. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" 811 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.
  11. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
  12. ALL DRAINAGE PIPES SHALL BE SMOOTH WALLED CORRUGATED POLYETHYLENE PIPE (HDPE) EXCEPT WHERE NOTED OTHERWISE.
  13. ALL CATCH BASINS TO HAVE FOUR (4) FOOT SUMPS AND HOODS.
  14. SEWER MANHOLE COVERS SHALL BE MARKED "SEWER".
  15. GRAVITY SEWERS TO BE SDR35 PVC. SEWER FORCE MAIN TO BE 200 PSI SDR21 PVC OR EQUAL. SEWER MATERIALS & CONSTRUCTION TO CONFORM WITH ALL APPLICABLE STANDARDS OF GRAFTON SEWER DEPARTMENT.
  16. WATER LINE MATERIALS AND INSTALLATION TO CONFORM WITH ALL APPLICABLE STANDARDS OF GRAFTON WATER DISTRICT.
  17. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
  18. GAS, ELECTRIC AND TELEPHONE CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
  19. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO DRAIN WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
  20. ALL SITE CONSTRUCTION AND SOIL SPECIFICATIONS SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (DPW) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES UNLESS SPECIFIED OTHERWISE ON PLANS.
  21. WATER LINES AND SEWER LINES SHALL BE SEPARATED BY 10' HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, AN 18" SEPARATION BETWEEN THE BOTTOM OF THE WATER LINE AND THE TOP OF THE SEWER LINE IS ALSO ACCEPTABLE BUT ONLY WHERE THE WATER LINE IS ABOVE THE SEWER LINE. BOTH PIPES SHALL BE ENCASED IN CONCRETE (SEE DETAIL) IN ANY AREA WHERE NEITHER OF THE TWO SEPARATIONS NOTED ABOVE CAN BE MAINTAINED IN SUCH A MANNER BOTH THE WATER LINE AND SEWER LINE (IN AREA OF ENCASEMENT) MUST BE PRESSURE TESTED TO 150 P.S.I. TO ENSURE BOTH ARE WATER TIGHT.
  22. CONTRACTOR SHALL CONFIRM ELEVATION OF EXISTING SEWER INVERT PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.

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**LEGEND**

E/T/C	ELECTRIC/TELECOM/CABLE
CLDI	CEMENT LINED DUCTILE IRON
—W—	EXISTING WATER LINE
—G—	EXISTING GAS LINE

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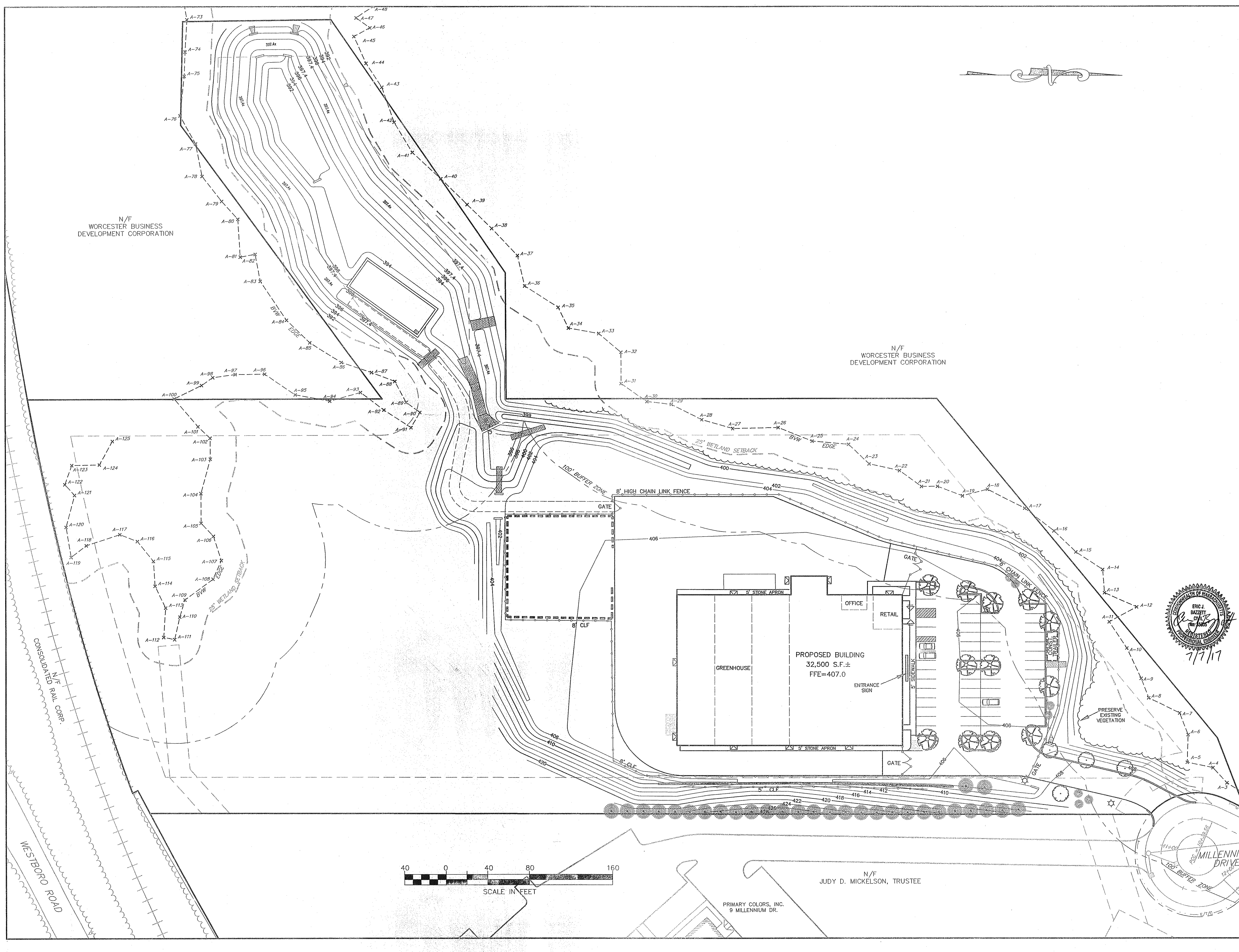
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**UTILITY PLAN**  
**SHEET 5 OF 12**





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- LEGEND**
- Acer Rubrum "Red Sunset" (Red Sunset Red Maple) 2" Caliper
  - Pinus Strobus (White Pine) 5-6' Height
  - Cornus florida "Cherokee Brave" (Cherokee Brave Boxwood) 5-6' Height
  - Buxux "Green Velvet" (Green Velvet Boxwood) Containerized - 1 Gallon
  - LIGHT POLE
  - WALLPACK LIGHT
  - ENTRANCE LIGHT

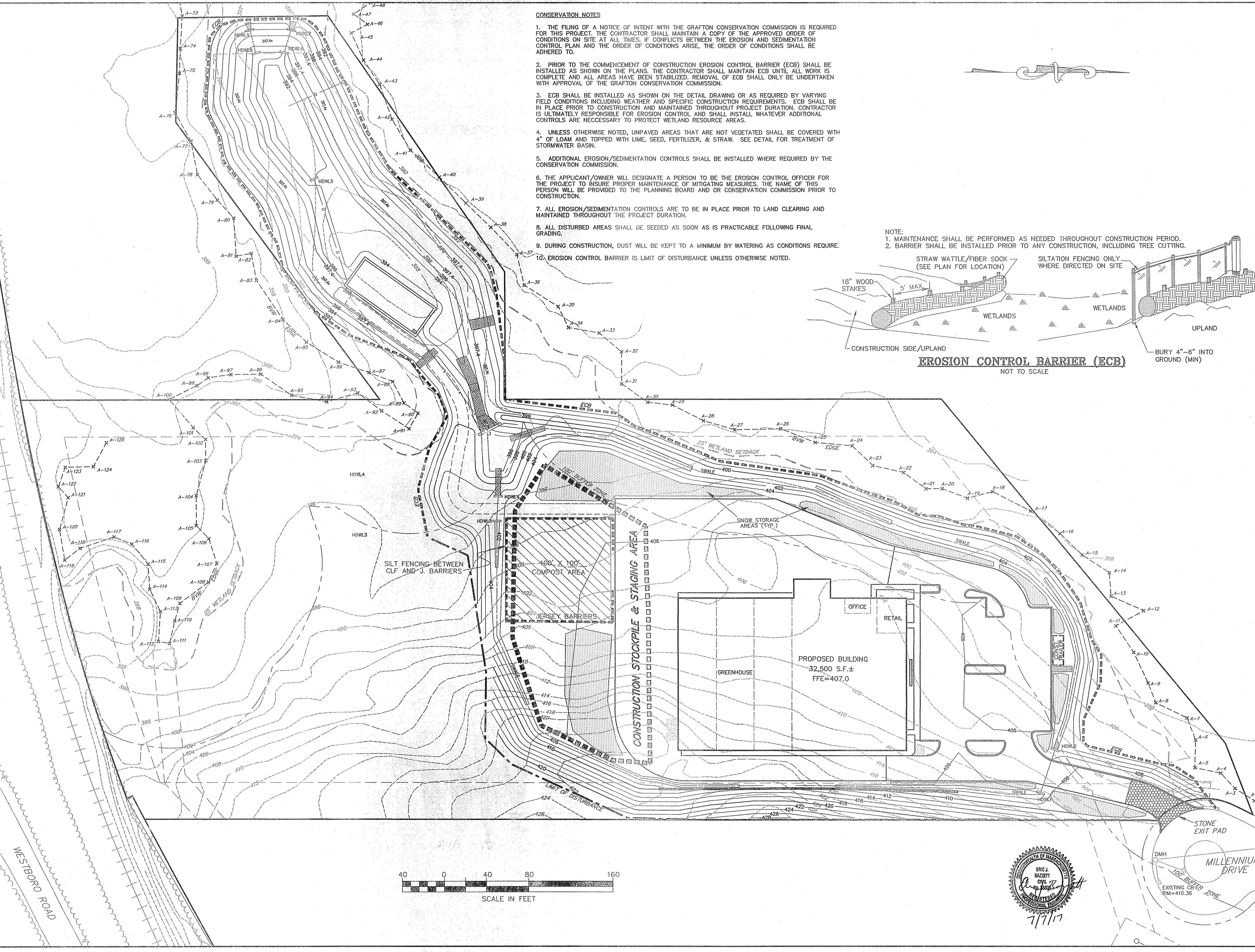
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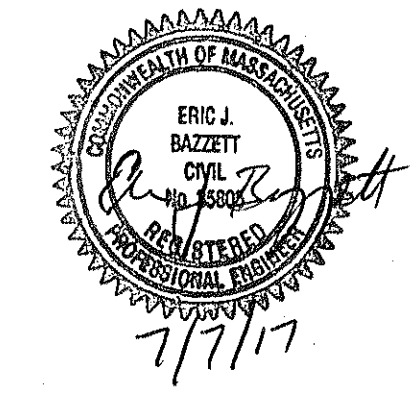
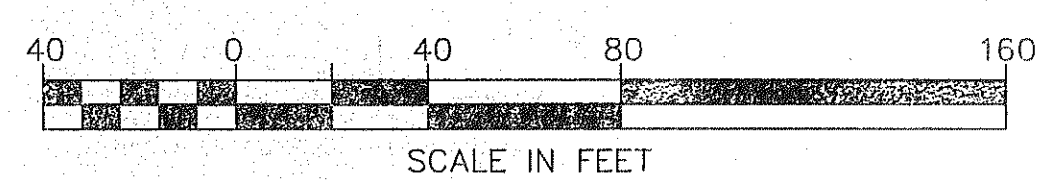
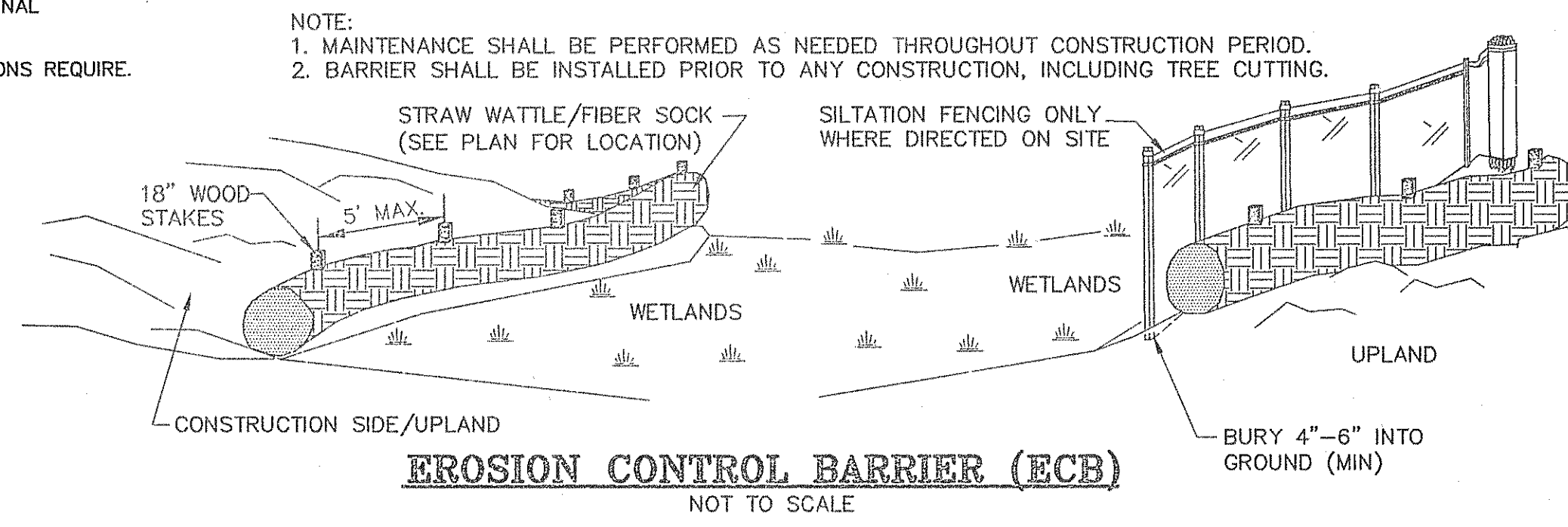
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**LANDSCAPE & LIGHTING PLAN**  
SHEET 6 OF 12





- CONSERVATION NOTES**
1. THE FILING OF A NOTICE OF INTENT WITH THE GRAFTON CONSERVATION COMMISSION IS REQUIRED FOR THIS PROJECT. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED ORDER OF CONDITIONS ON SITE AT ALL TIMES. IF CONFLICTS BETWEEN THE EROSION AND SEDIMENTATION CONTROL PLAN AND THE ORDER OF CONDITIONS ARISE, THE ORDER OF CONDITIONS SHALL BE ADHERED TO.
  2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION EROSION CONTROL BARRIER (ECB) SHALL BE INSTALLED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN ECB UNTIL ALL WORK IS COMPLETE AND ALL AREAS HAVE BEEN STABILIZED. REMOVAL OF ECB SHALL ONLY BE UNDERTAKEN WITH APPROVAL OF THE GRAFTON CONSERVATION COMMISSION.
  3. ECB SHALL BE INSTALLED AS SHOWN ON THE DETAIL DRAWING OR AS REQUIRED BY VARYING FIELD CONDITIONS INCLUDING WEATHER AND SPECIFIC CONSTRUCTION REQUIREMENTS. ECB SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT PROJECT DURATION. CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR EROSION CONTROL AND SHALL INSTALL WHATEVER ADDITIONAL CONTROLS ARE NECESSARY TO PROTECT WETLAND RESOURCE AREAS.
  4. UNLESS OTHERWISE NOTED, UNPAVED AREAS THAT ARE NOT VEGETATED SHALL BE COVERED WITH 4" OF LOAM AND TOPPED WITH LIME, SEED, FERTILIZER, & STRAW. SEE DETAIL FOR TREATMENT OF STORMWATER BASIN.
  5. ADDITIONAL EROSION/SEDIMENTATION CONTROLS SHALL BE INSTALLED WHERE REQUIRED BY THE CONSERVATION COMMISSION.
  6. THE APPLICANT/OWNER WILL DESIGNATE A PERSON TO BE THE EROSION CONTROL OFFICER FOR THE PROJECT TO INSURE PROPER MAINTENANCE OF MITIGATING MEASURES. THE NAME OF THIS PERSON WILL BE PROVIDED TO THE PLANNING BOARD AND OR CONSERVATION COMMISSION PRIOR TO CONSTRUCTION.
  7. ALL EROSION/SEDIMENTATION CONTROLS ARE TO BE IN PLACE PRIOR TO LAND CLEARING AND MAINTAINED THROUGHOUT THE PROJECT DURATION.
  8. ALL DISTURBED AREAS SHALL BE SEEDED AS SOON AS IS PRACTICABLE FOLLOWING FINAL GRADING.
  9. DURING CONSTRUCTION, DUST WILL BE KEPT TO A MINIMUM BY WATERING AS CONDITIONS REQUIRE.
  10. EROSION CONTROL BARRIER IS LIMIT OF DISTURBANCE UNLESS OTHERWISE NOTED.



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**EROSION CONTROL PLAN**  
SHEET 7 OF 12





SHEET NO. 1

SEAL

PROJECT NO.  
17096

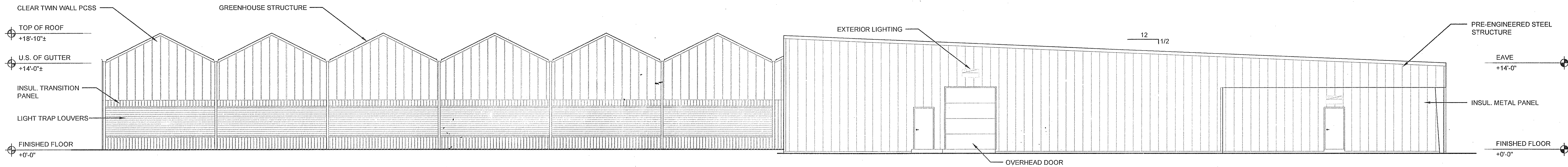
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DRAWING TITLE	OVERALL FLOOR PLAN

SHEET NO.

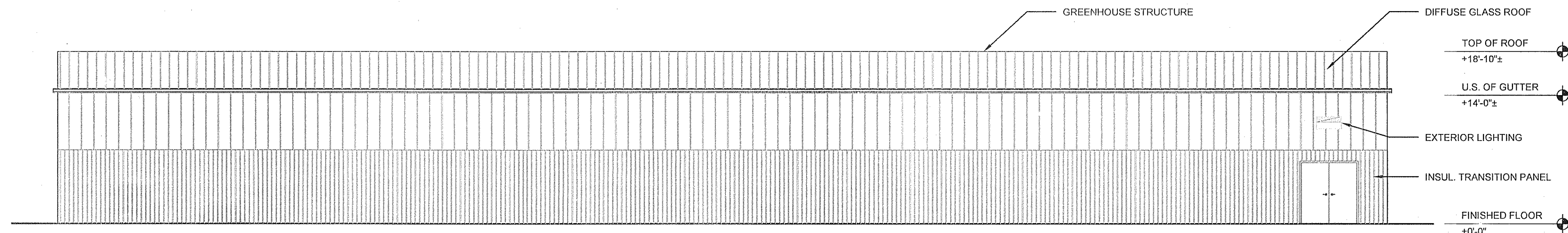
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(717) 392-8021, fax 392-7140

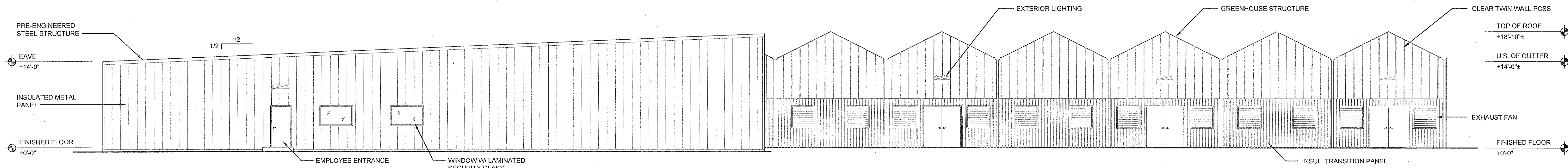




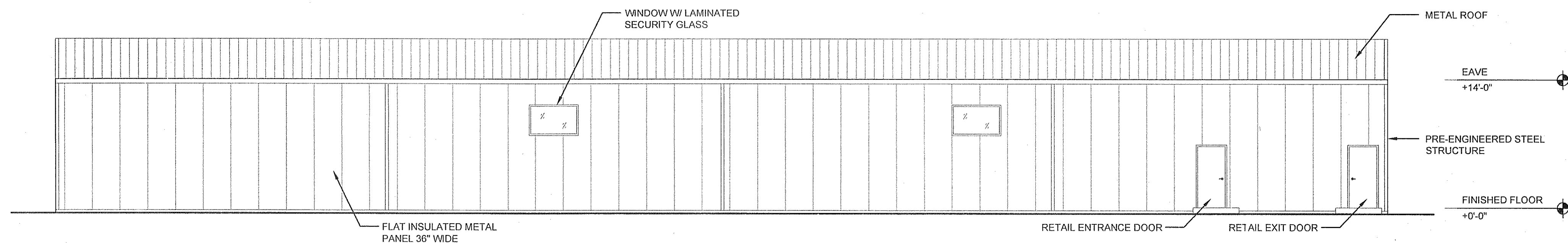
4 EAST ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

**Engel Architects, LLC**  
1854 Lincoln Highway East  
Lancaster, PA 17602  
(717) 392-8021, fax 392-7140

PROPOSED GROW/PROCESS FACILITY FOR  
**Nature's Remedy**  
of Massachusetts  
8 Millennium Drive  
Grafton, MA 01536

SEAL

THIS DRAWING IS THE PROPERTY  
OF ENGEL ARCHITECTS. IT MAY NOT  
BE REPRODUCED OR DISTRIBUTED IN ANY  
FORM WITHOUT THEIR PERMISSION. DO  
NOT SCALE DRAWING. CONTRACTOR  
SHALL VERIFY ALL CONDITIONS  
& DIMENSIONS ON SITE PRIOR  
TO PROCEEDING WITH THE WORK.

PROJECT NO.  
17096

MANAGED BY  
D. ENGEL

DRAWN BY  
J. FREY

REVISIONS

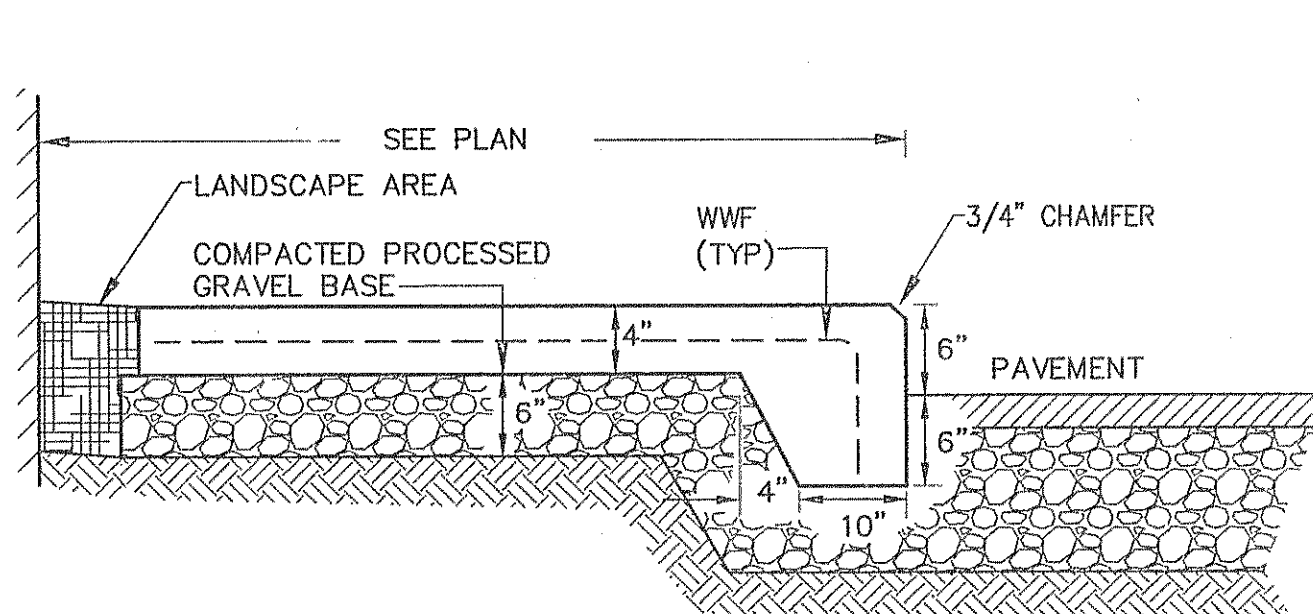
DATE  
JUNE 29, 2017

DRAWING TITLE  
EXTER. ELEVATIONS

SHEET NO.

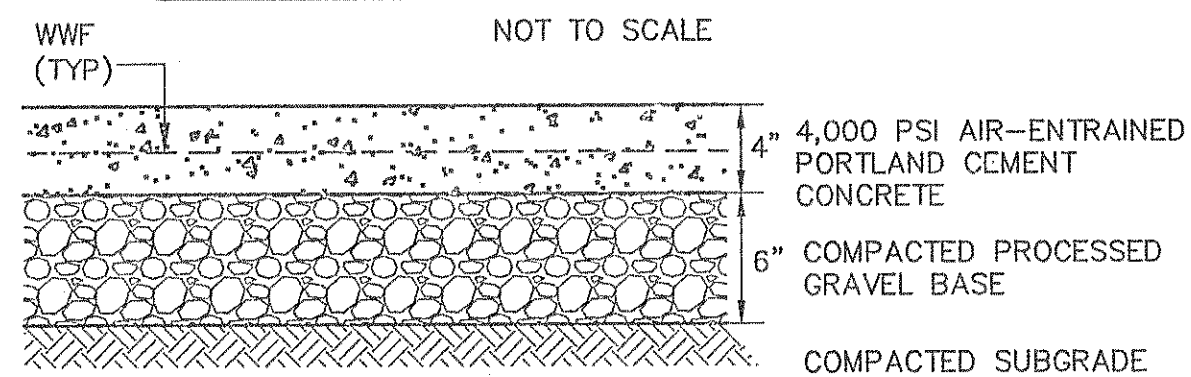
A2.1





**CEMENT CONCRETE SIDEWALK AT BUILDING**

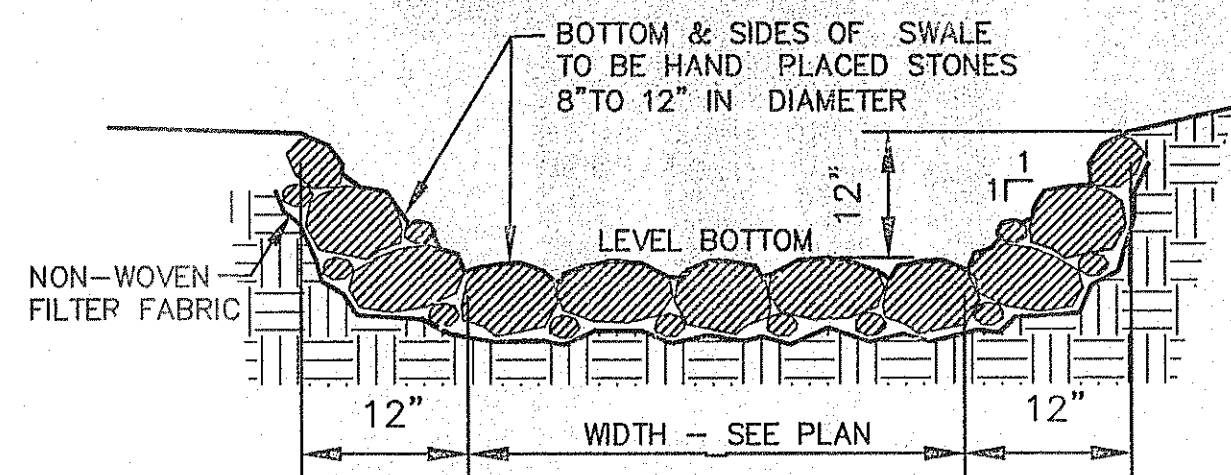
NOT TO SCALE



**CEMENT CONCRETE SIDEWALK**

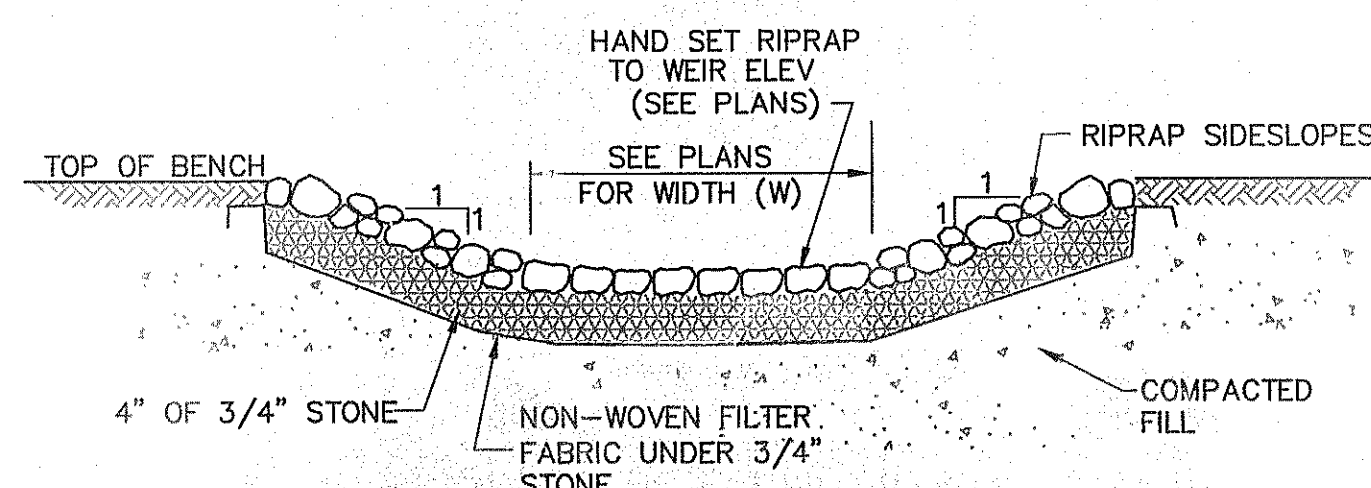
NOT TO SCALE

SIDEWALK NOTES:  
1. SIDEWALK SHALL BE 5' WIDE WITH CONSTRUCTION JOINTS EVERY 5' AND 1/2" EXPANSION JOINTS EVERY 25' WITH 10 GA. 6X6 WWF AT MID DEPTH. POURING OF SLABS SHALL ALTERNATE IN 30' SECTIONS. CURING TIME FOR TRAFFIC MINIMUM 72 HOURS.  
2. CONCRETE SLUMP TO BE 2" PLUS OR MINUS 1/2"  
3. CROSS SLOPE OF SIDEWALK TO BE BETWEEN 1/8" PER FT AND 3/16" PER FT (1.0% AND 1.5%) AND DRAIN TOWARD PAVEMENT  
4. SIDEWALK SHALL CONFORM TO MDOT SEC. 7.01 & SECTION M4.



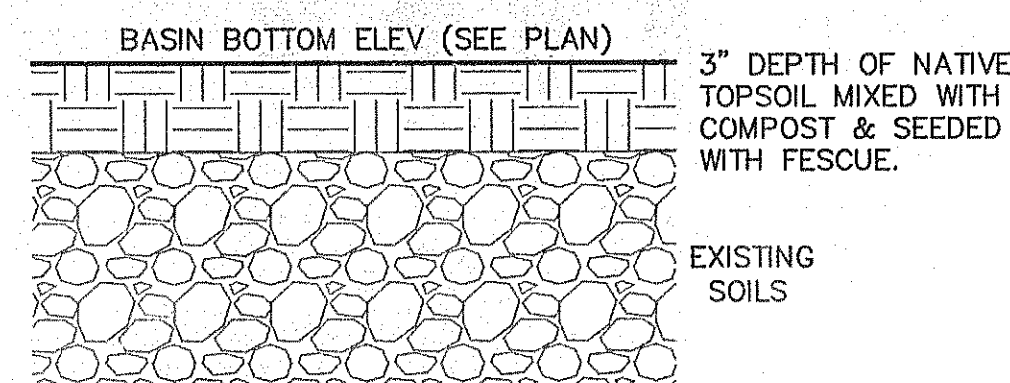
**RIPRAP SWALE SECTION**

NOT TO SCALE



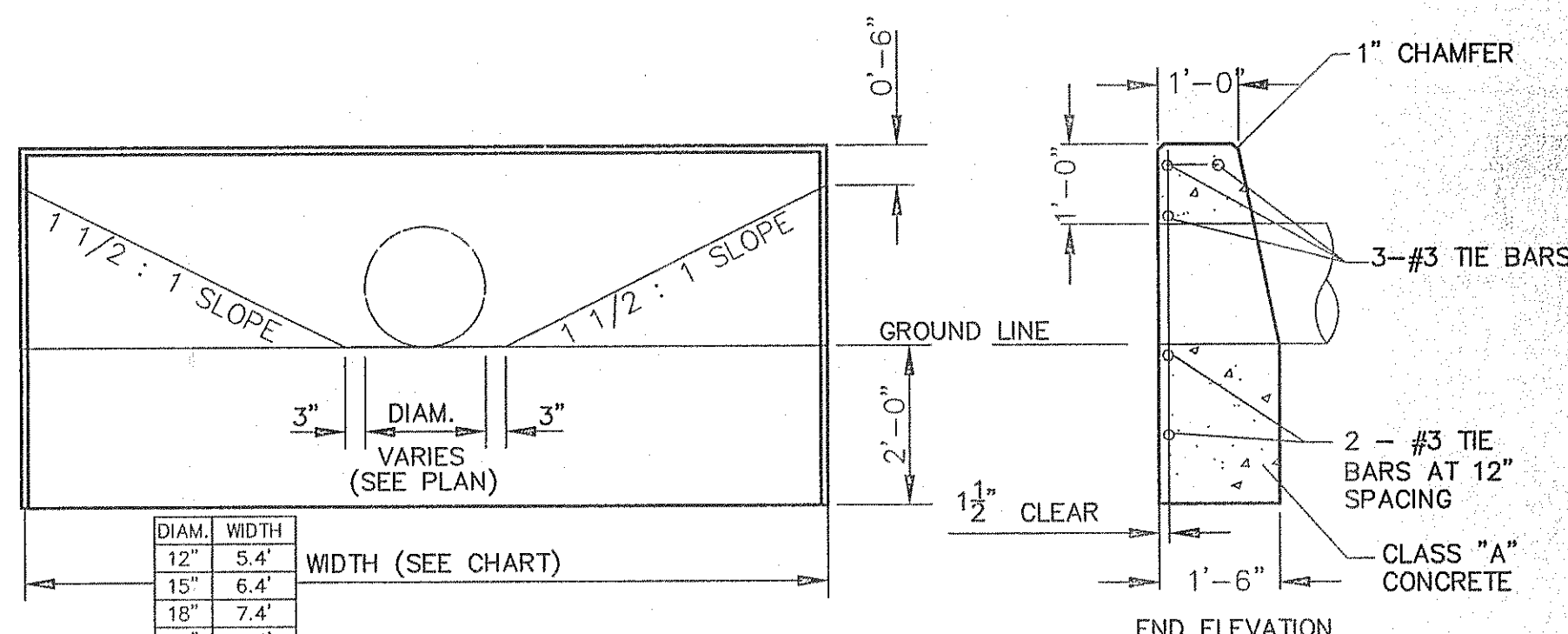
**RIPRAP SPILLWAY SECTION**

NOT TO SCALE



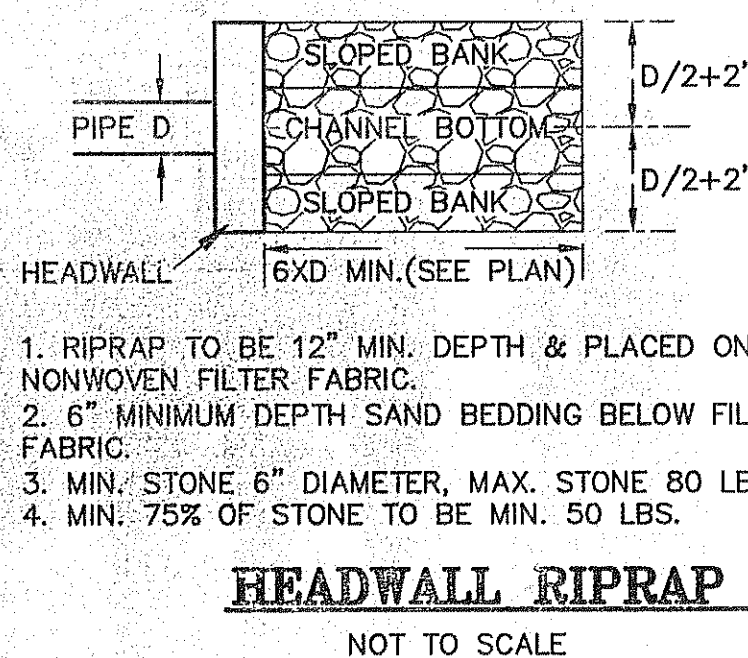
**INFILTRATION BASIN CROSS-SECTION**

NOT TO SCALE



**CONCRETE HEADWALL**

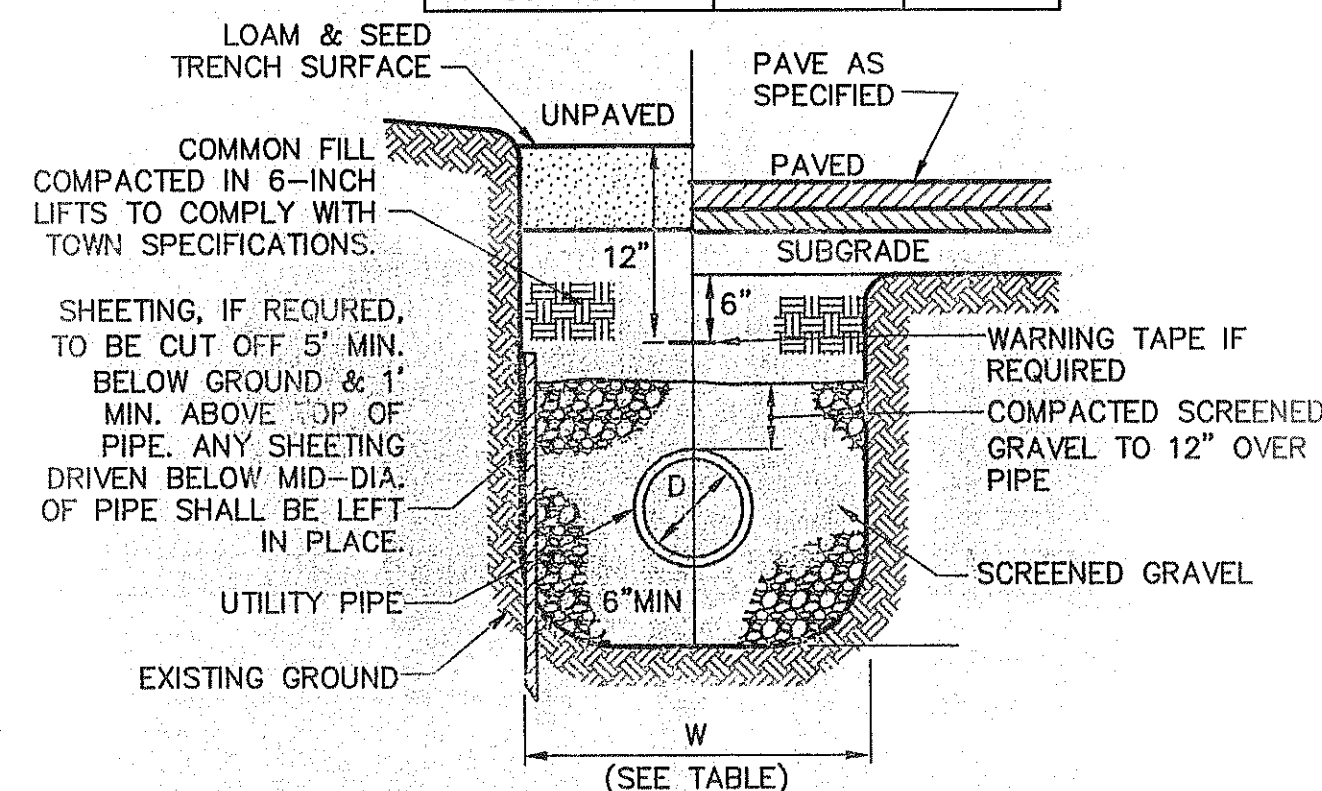
NOT TO SCALE



**HEADWALL RIPRAP**

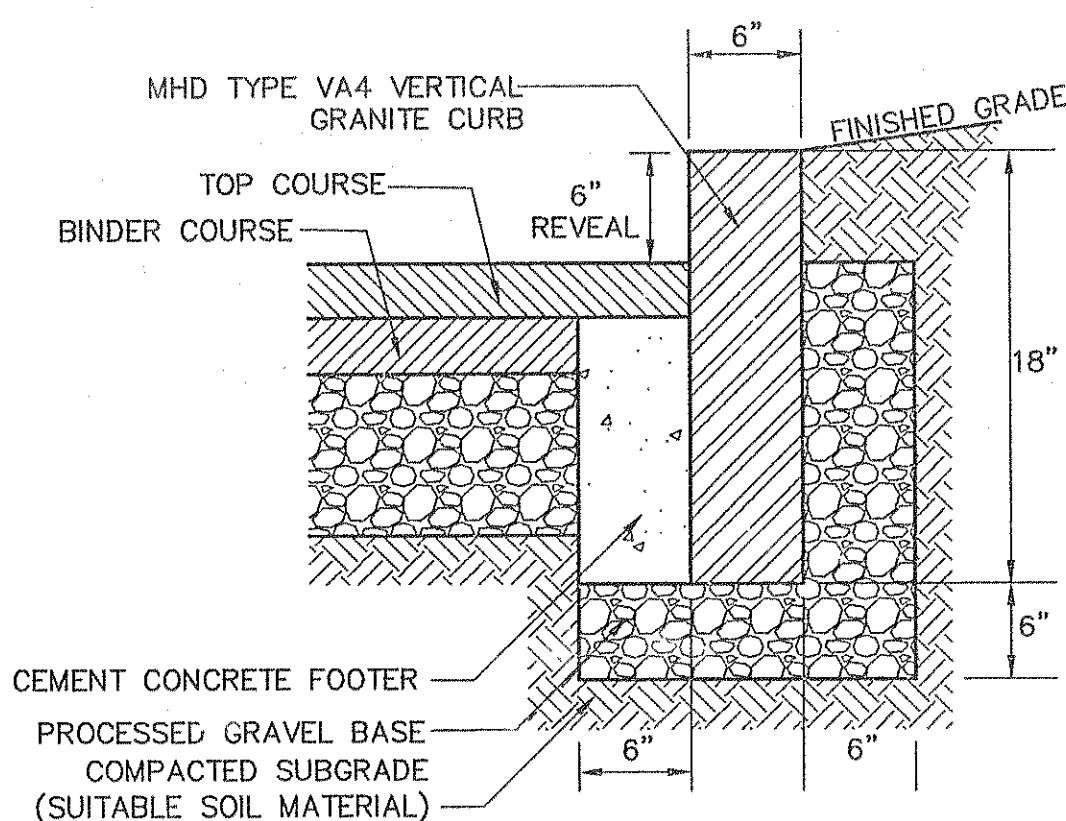
NOT TO SCALE

TRENCH WIDTH (W)		
D DIAMETER OF PIPE	W UNSHEATHED	W SHEATHED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



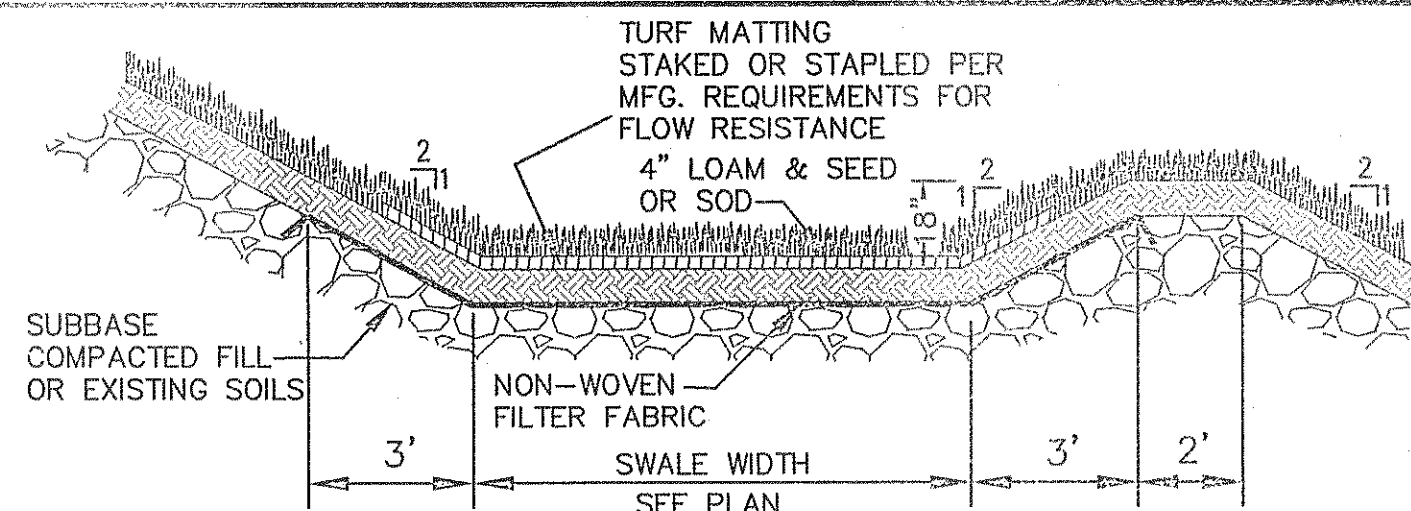
**TYPICAL TRENCH SECTION**

NOT TO SCALE



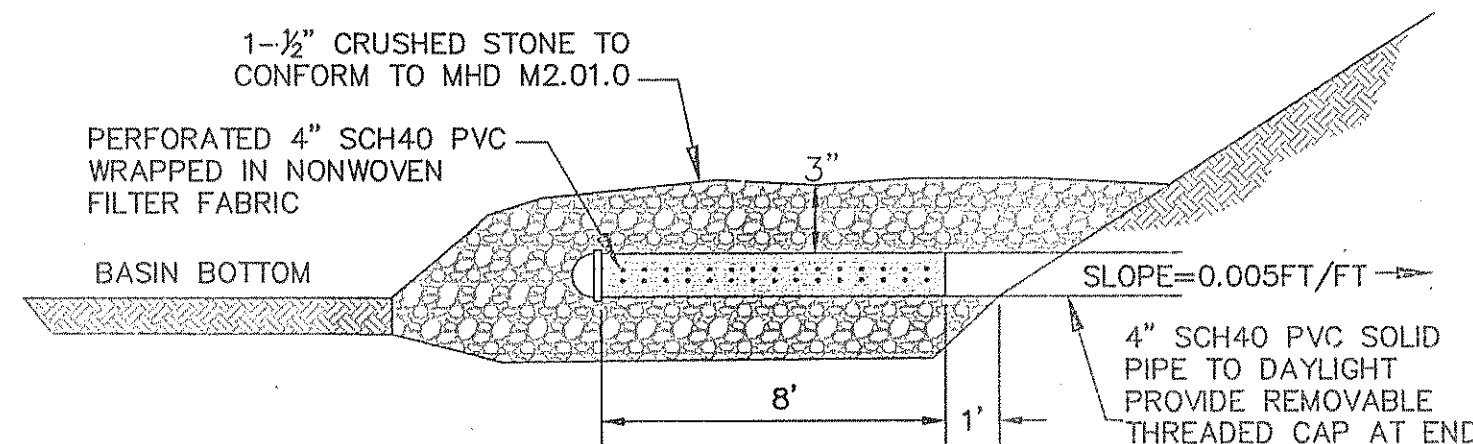
**VERTICAL GRANITE CURB**

NOT TO SCALE



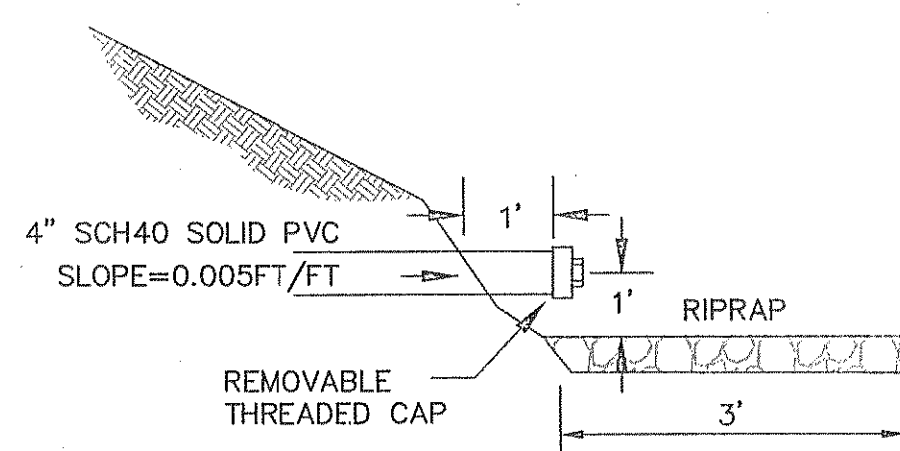
**GRASS SWALE SECTION**

NOT TO SCALE



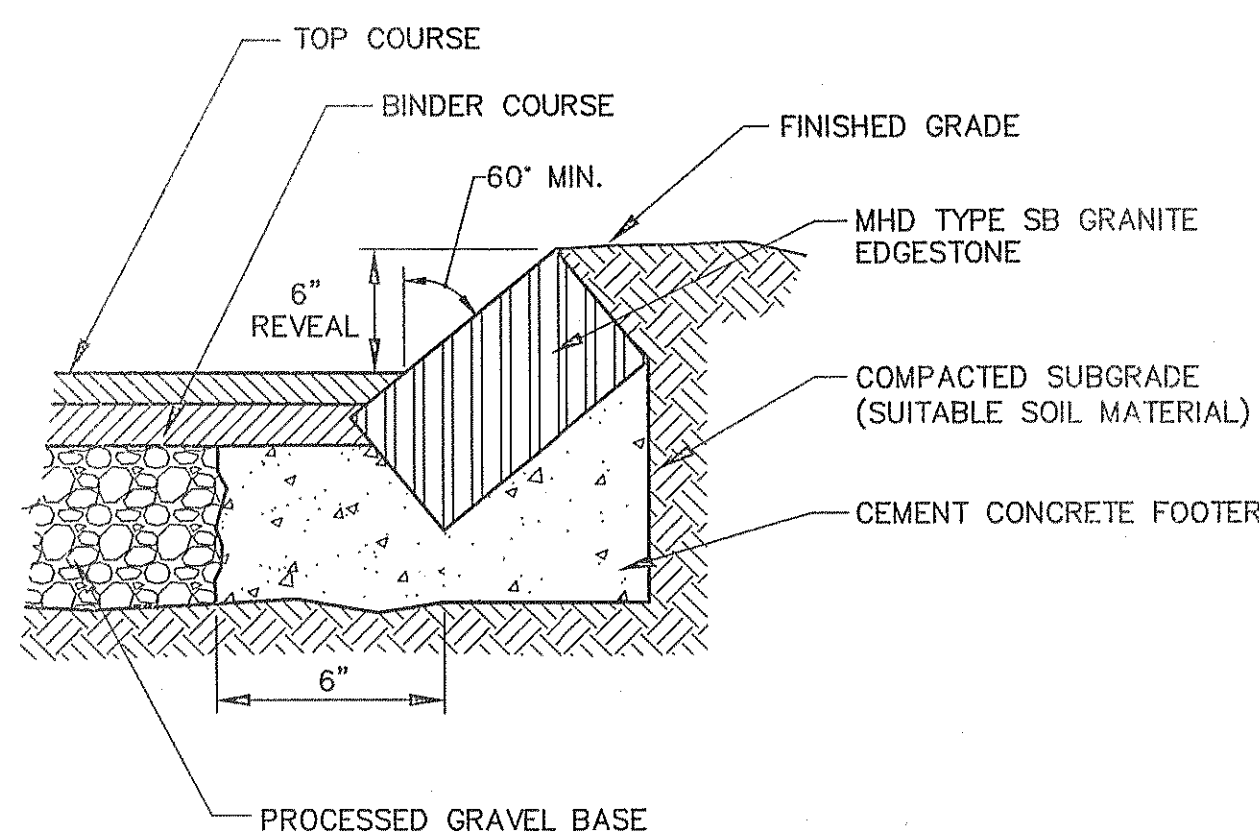
**MAINTENANCE DRAIN INLET**

NOT TO SCALE



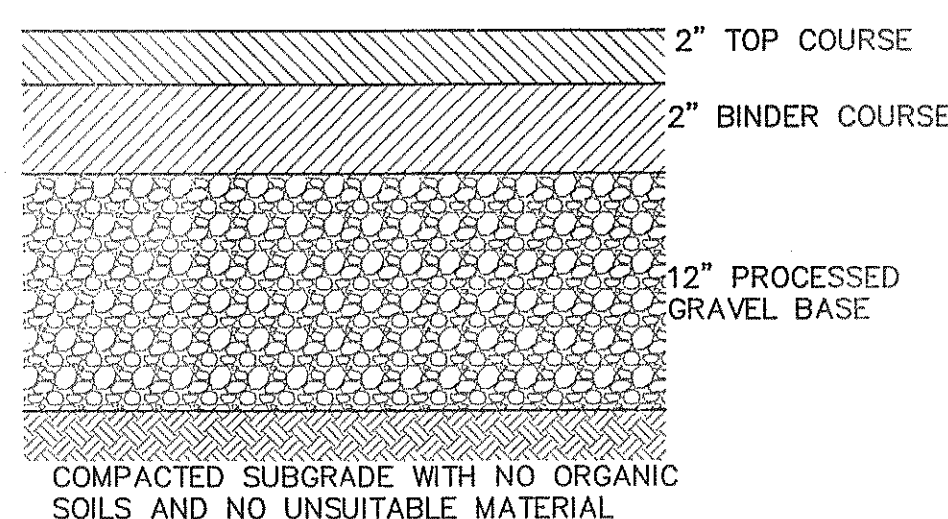
**MAINTENANCE DRAIN OUTLET**

NOT TO SCALE



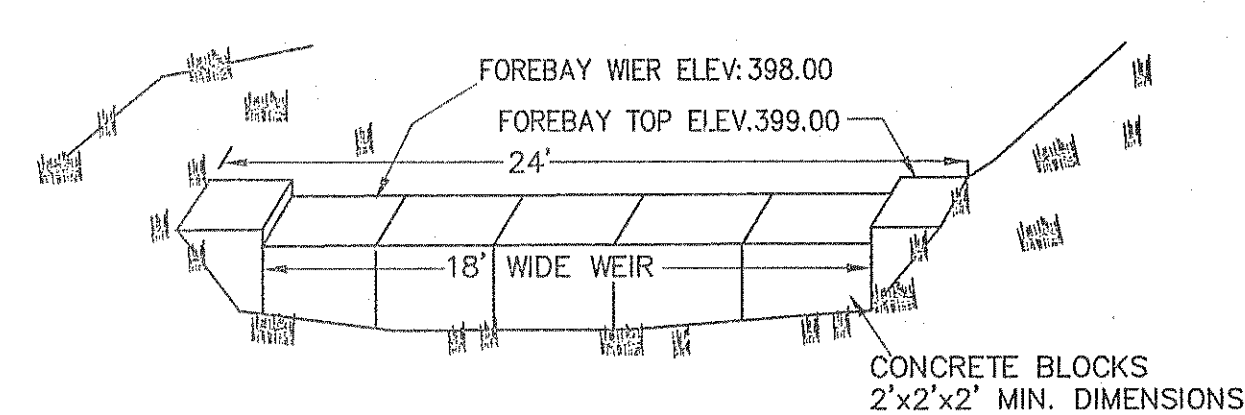
**SLOPED GRANITE EDGING (SGE)**

NOT TO SCALE



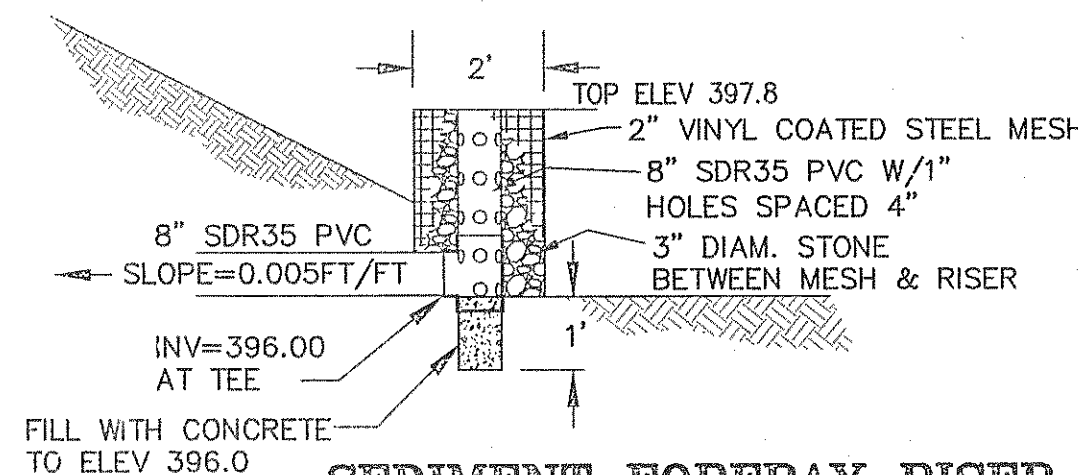
**PAVEMENT CROSS-SECTION**

NOT TO SCALE



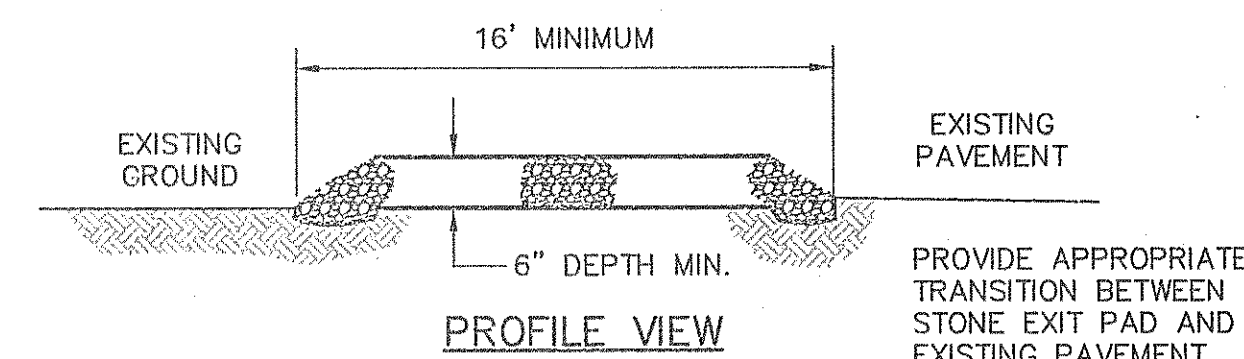
**SEDIMENT FOREBAY SPILLWAY**

NOT TO SCALE



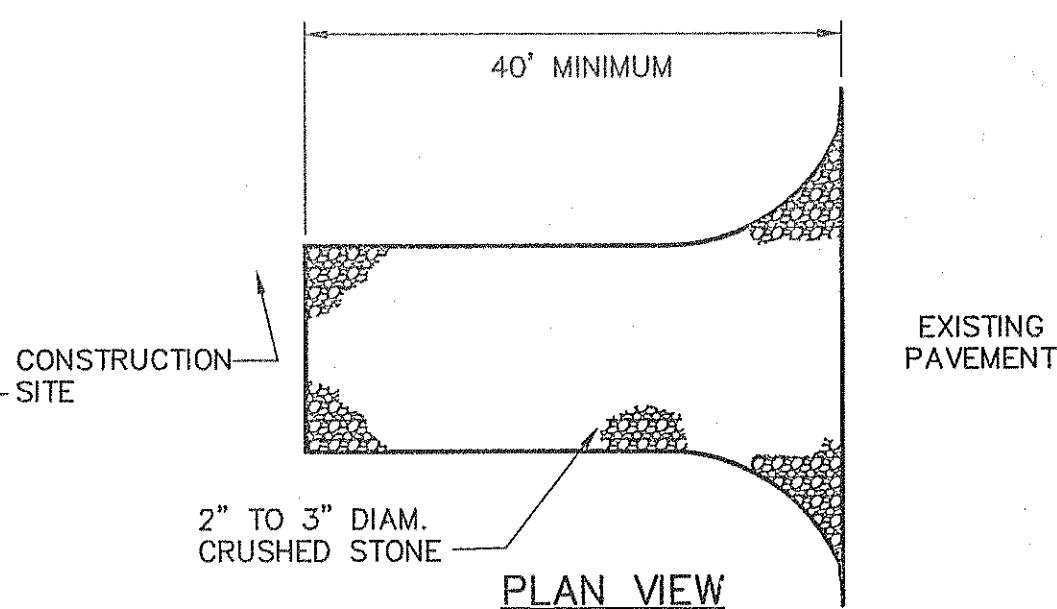
**SEDIMENT FOREBAY RISER**

NOT TO SCALE



**PROFILE VIEW**

PROVIDE APPROPRIATE TRANSITION BETWEEN STONE EXIT PAD AND EXISTING PAVEMENT

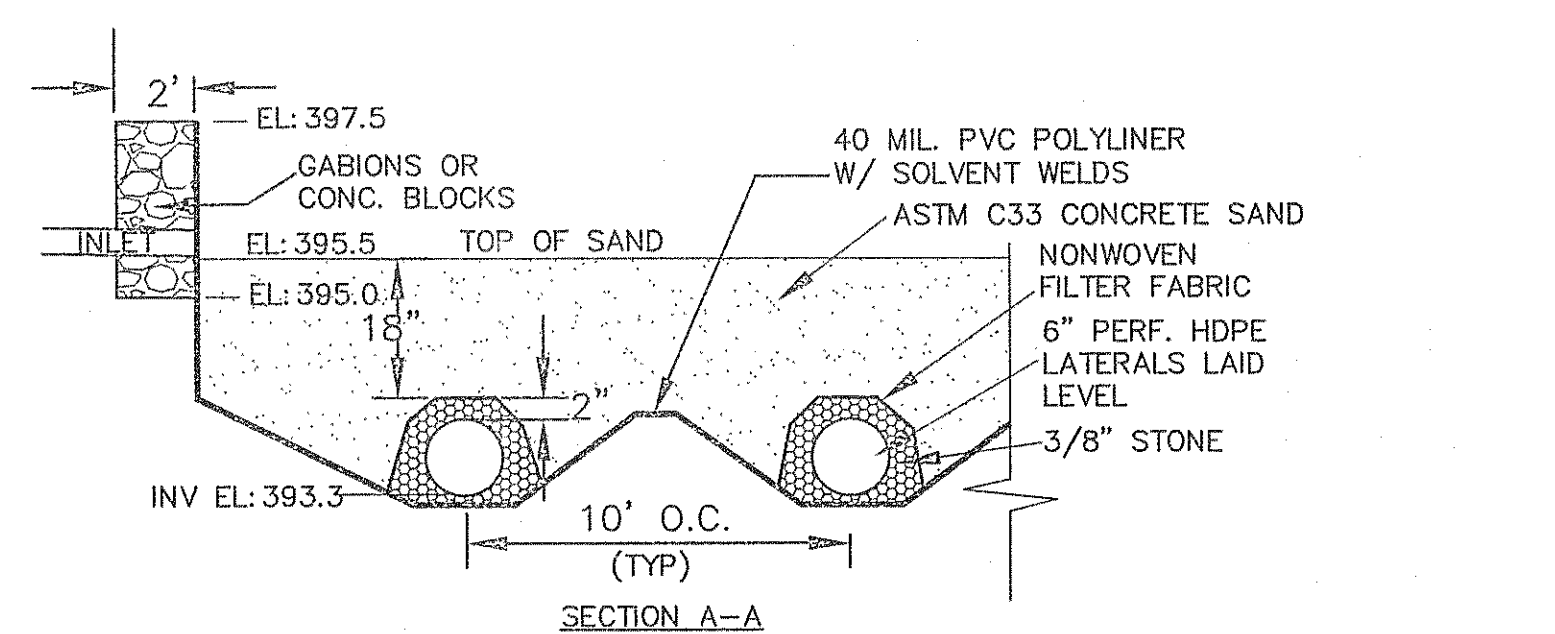


**PLAN VIEW**

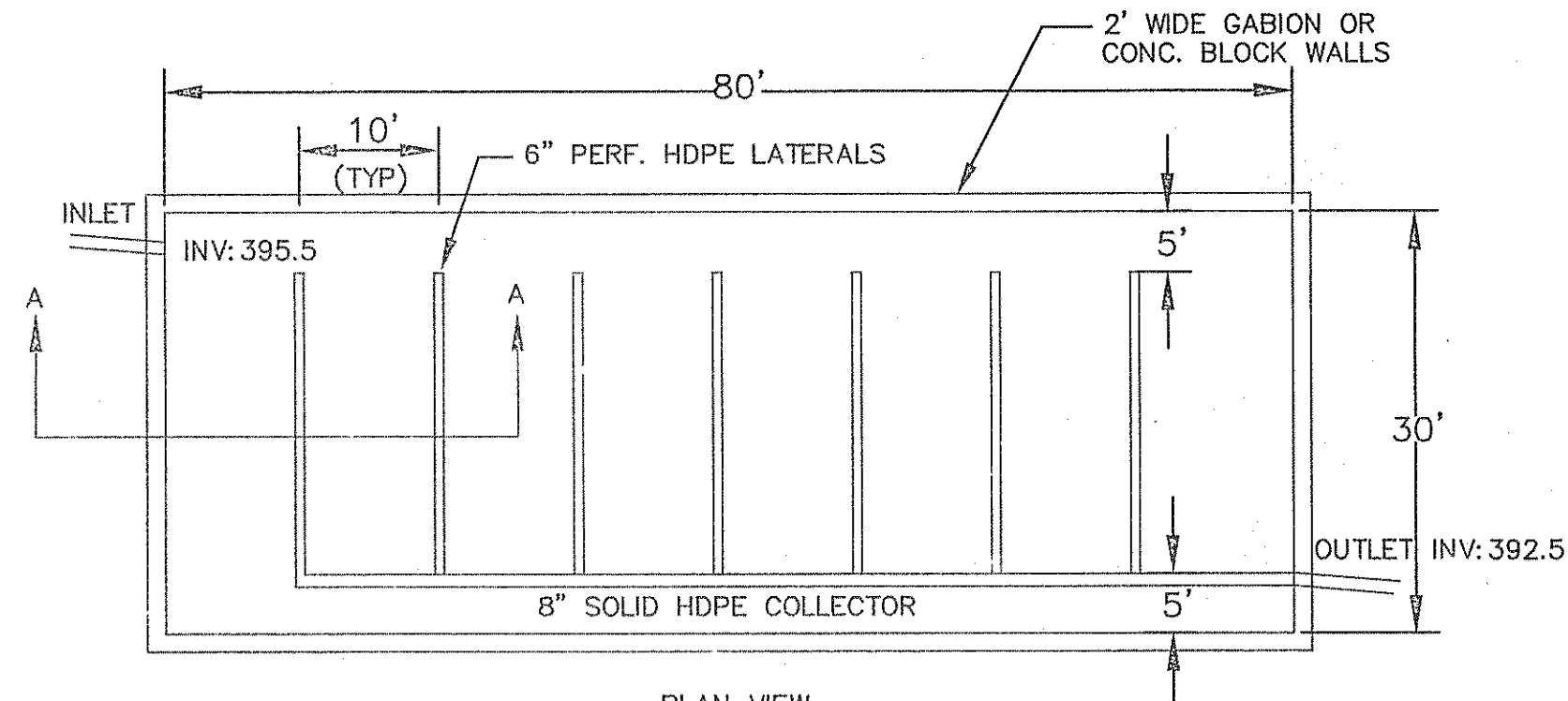
THE EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO EXISTING PAVEMENT SHALL BE REMOVED BY END OF DAY.

**STONE EXIT PAD**

NOT TO SCALE



**SECTION A-A**



**PLAN VIEW**

**SAND FILTER**

NOT TO SCALE

**HERITAGE DESIGN GROUP**

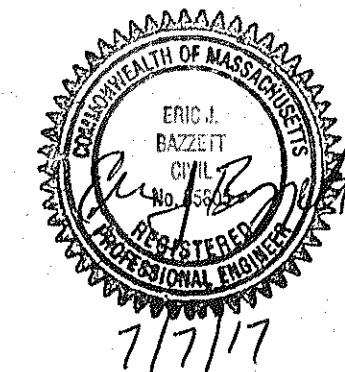
PLANNERS • SURVEYORS • ENGINEERS  
LANDSCAPE ARCHITECTS

ONE MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588  
TEL 508-266-2066 • FAX 508-266-2067  
A LIMITED LIABILITY COMPANY

Applicant  
Nature's Remedy of Massachusetts, Inc.  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

Owner of Record  
85 Green Street Limited Partnership  
PO Box 55  
Worcester, Massachusetts 01613-0055

ASSESSORS IDENTIFICATION  
110 / 005.0-0000-0001.J



SITE PLAN APPROVAL & SPECIAL PERMIT  
GRAFTON PLANNING BOARD

BEING A MAJORITY DATE

**REVISIONS**

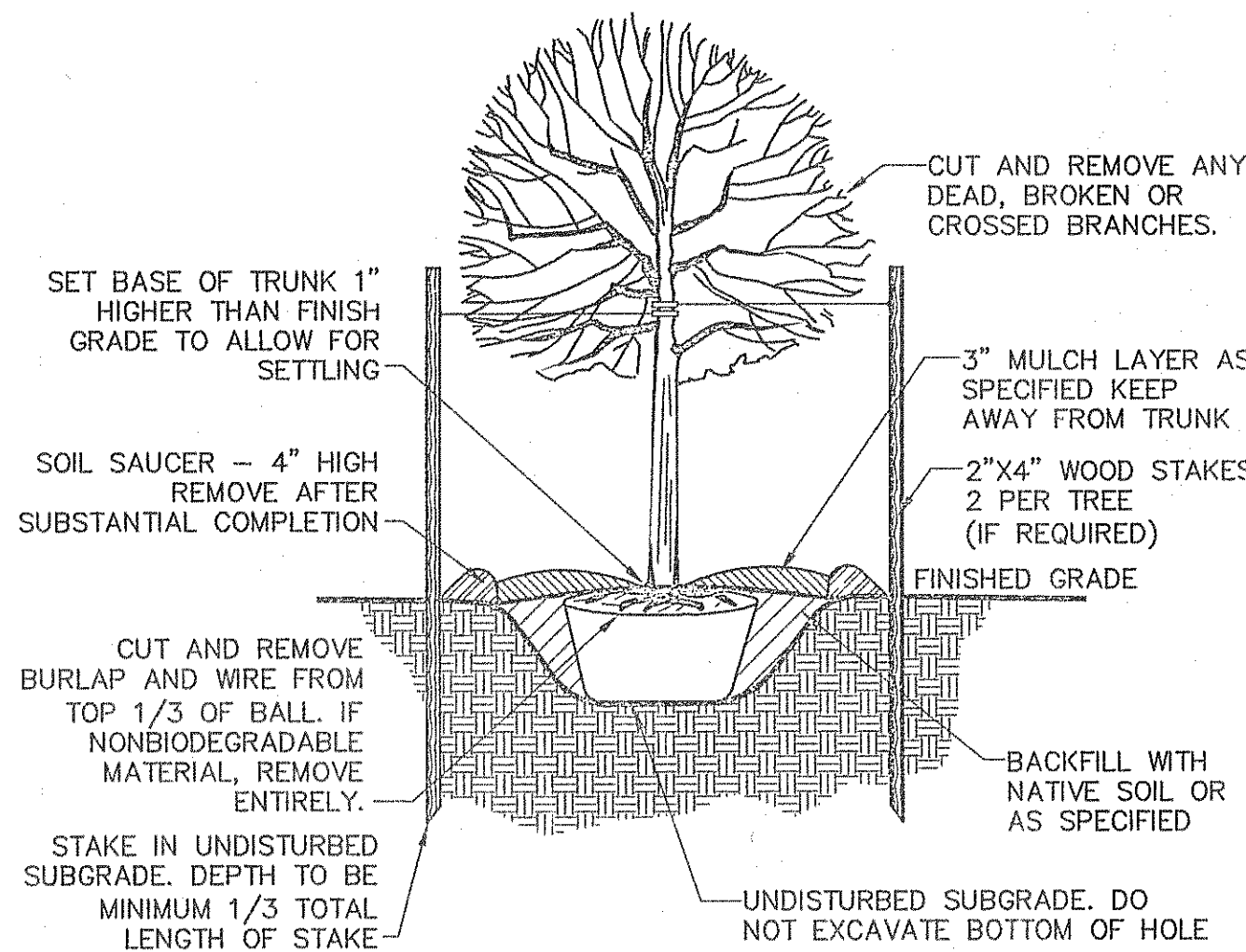
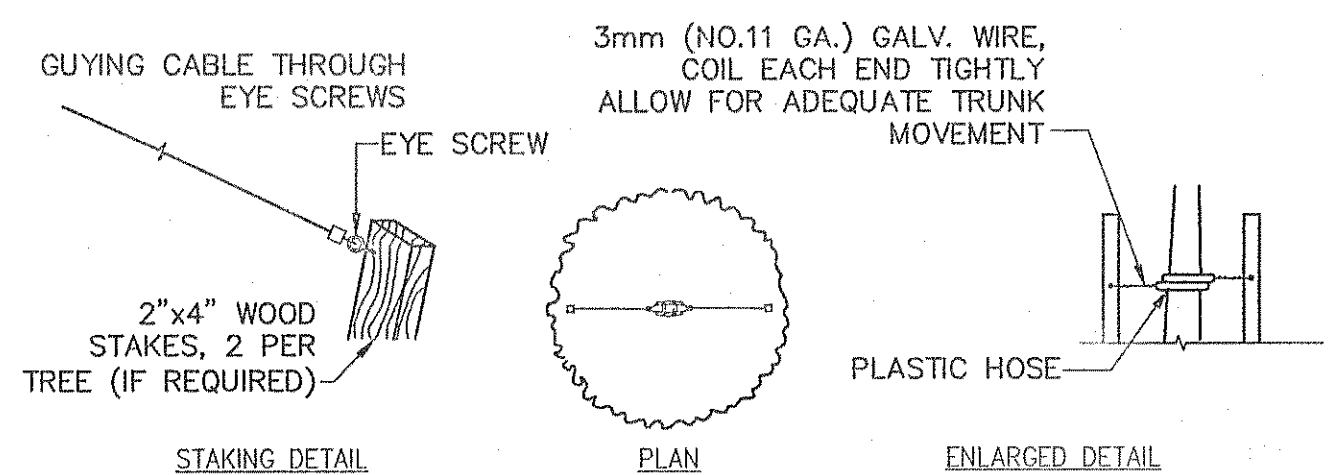
NO.	DATE	DESCRIPTION	BY
3	7/7/17	CLIENT & GRAVES REVIEW	EJB
2	6/19/17	PLANNING COMMENTS	EJB
1	6/6/17	CONSERVATION REVIEW	EJB

8 Millennium Drive  
Site Plan  
In The Town Of  
Grafton, Massachusetts  
For  
Nature's Remedy  
of Massachusetts, Inc.  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

SCALE: 1" = 40' DATE: May 8, 2017  
JOB NUMBER: 2016-063 DRAWING FILE NAME: -SP1  
DRAWN BY: EJB CHECKED BY: MEA

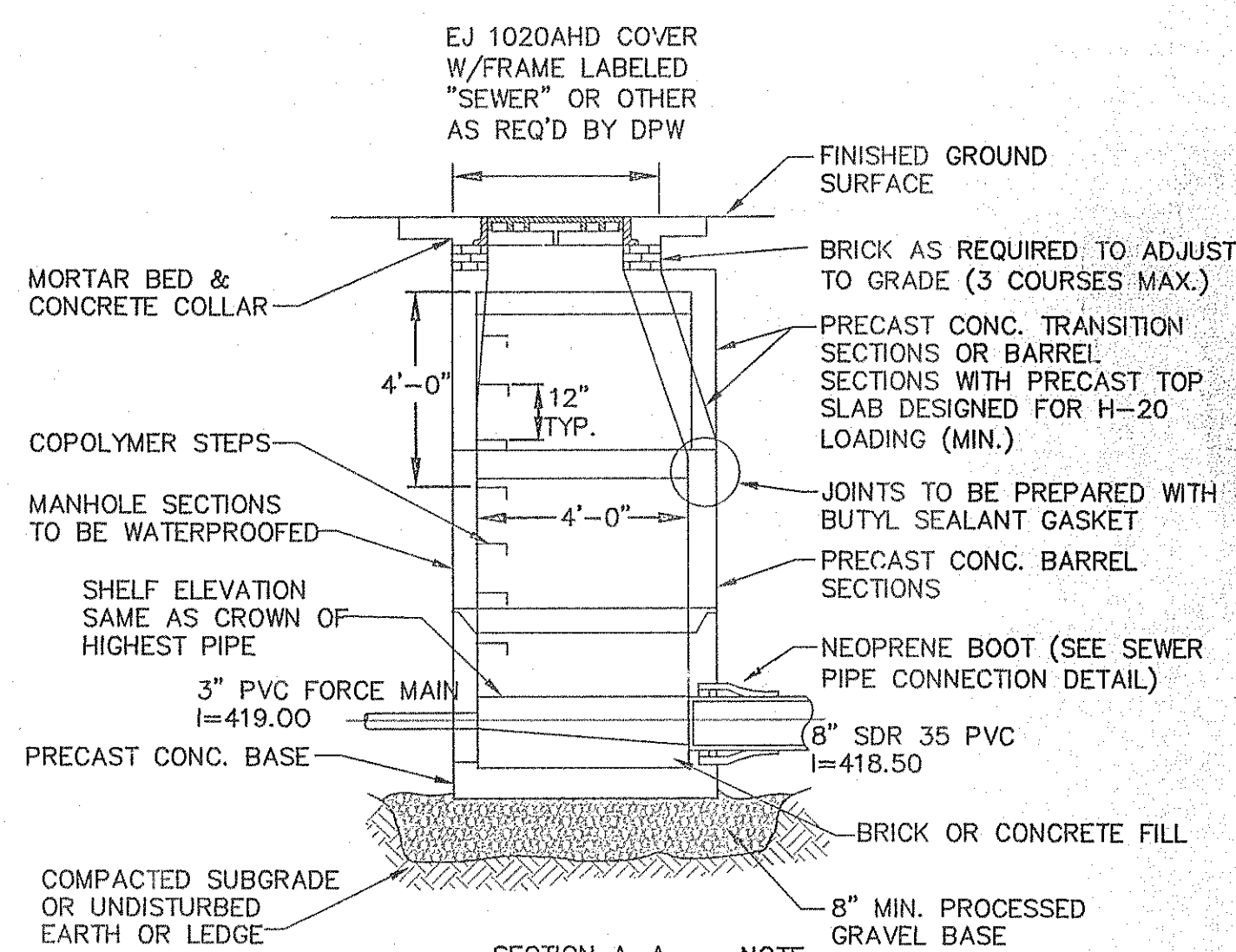
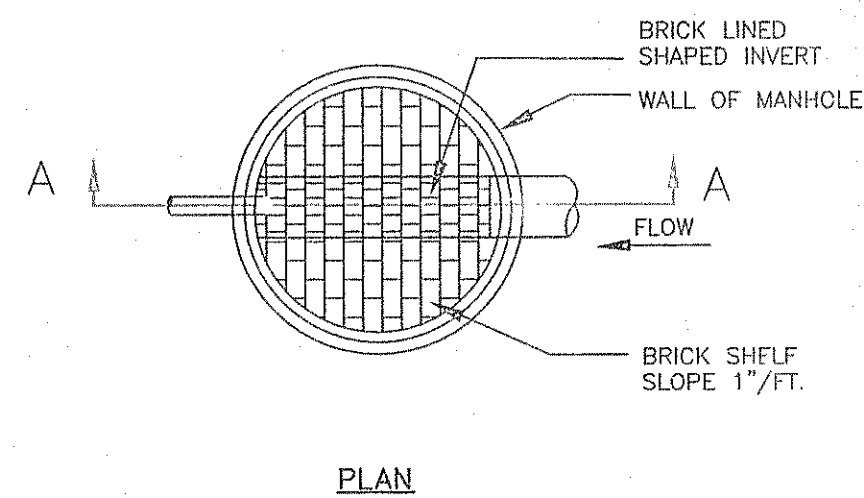
CONSTRUCTION DETAILS 1  
SHEET 10 OF 12



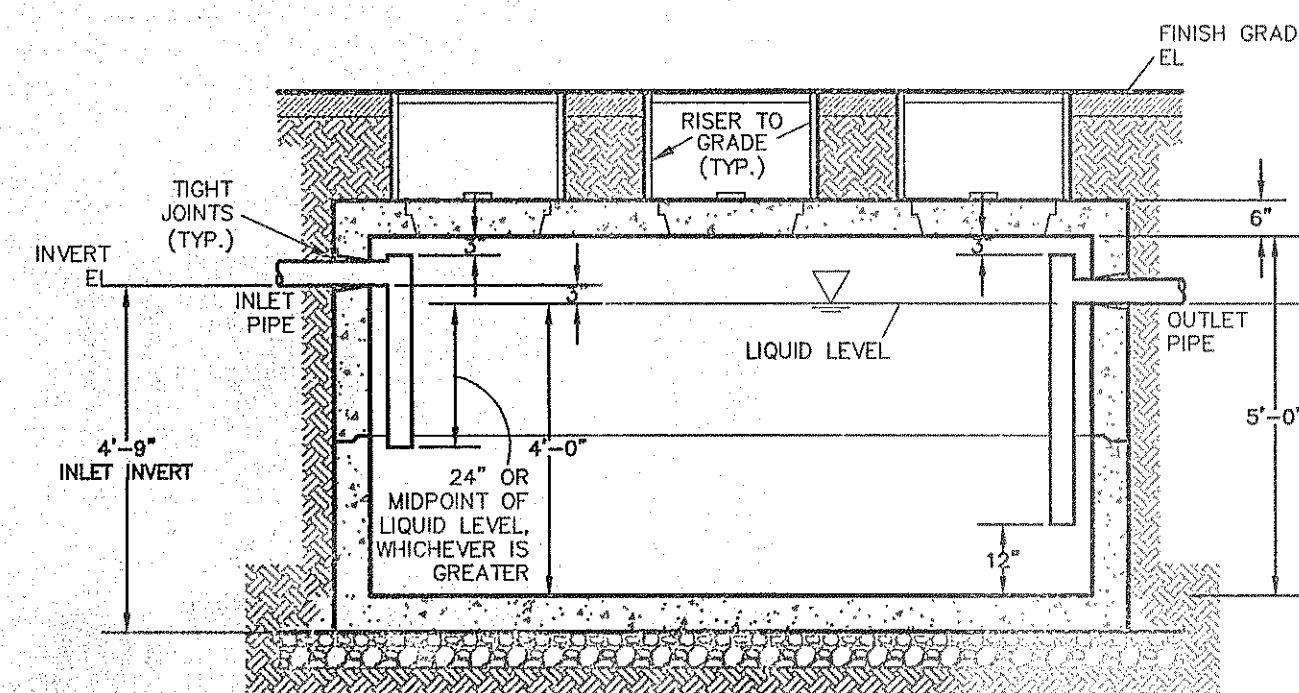
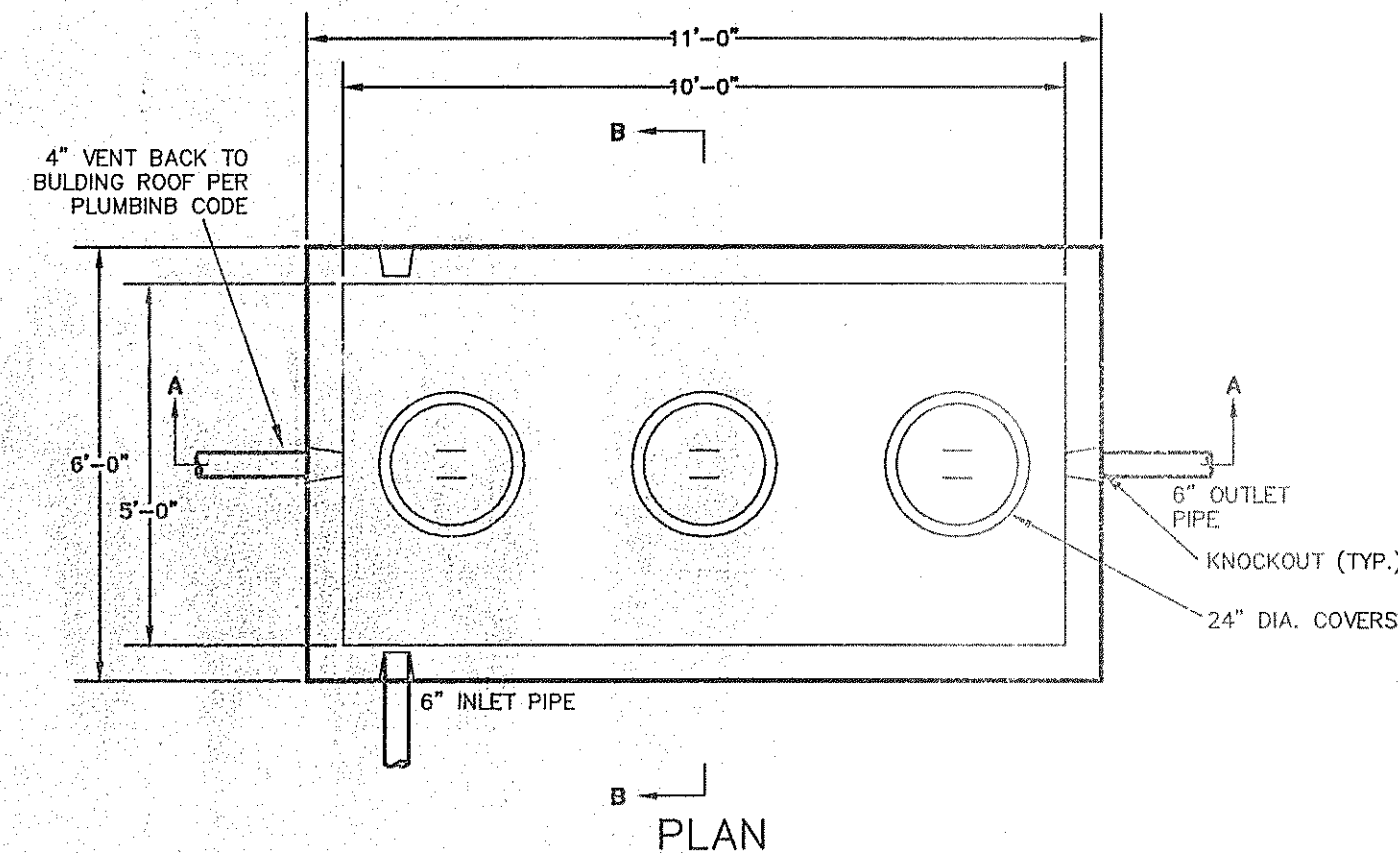


- NOTES:**
- DO NOT DAMAGE MAIN ROOTS OR ROOT BALL WHEN INSTALLING TREE STAKE.
  - WATER THOROUGHLY AFTER INSTALLATION.
  - PROVIDE DRAINAGE FOR PLANTING PIT IF IN IMPERMEABLE SOIL.
  - STAKES AND CABLES REQUIRED ONLY FOR TREE 3" CALIPER AND LARGER.

**TREE PLANTING**  
NOT TO SCALE



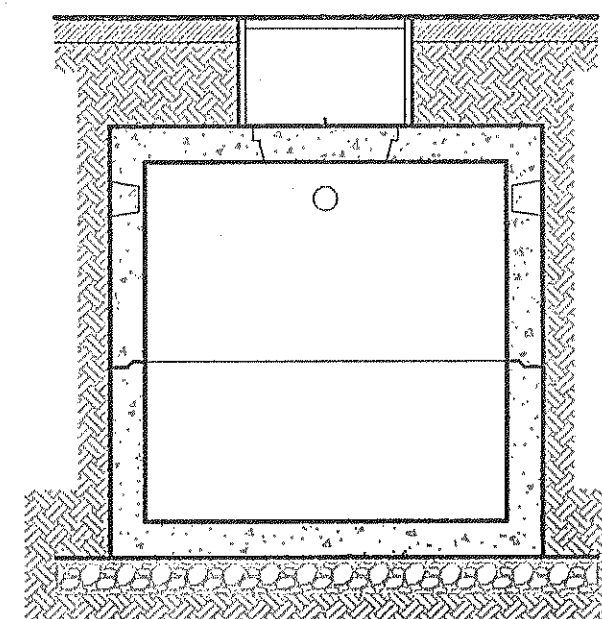
**SEWER FORCE MAIN MANHOLE**  
NOT TO SCALE



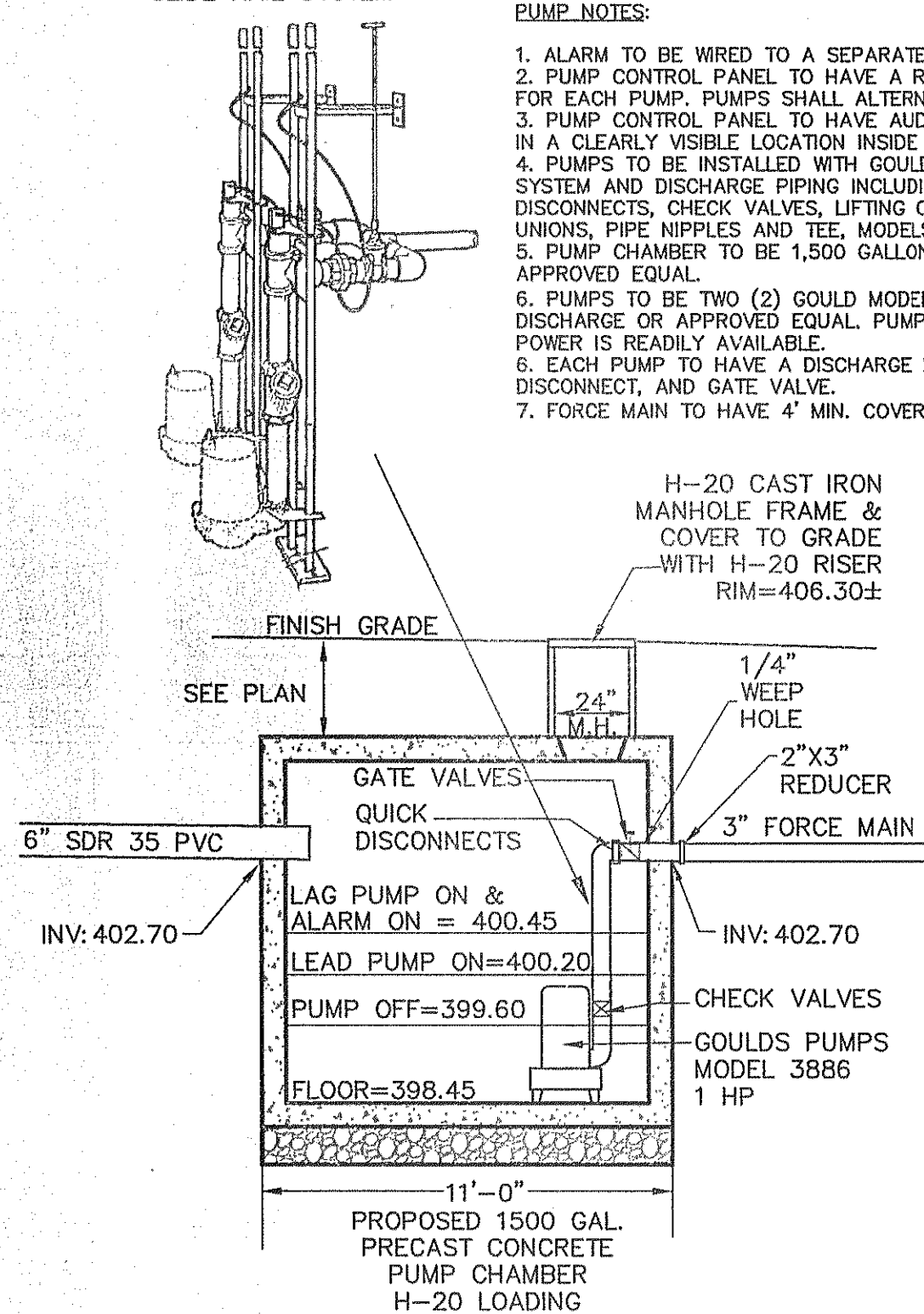
**1500 GALLON GREASE TRAP**  
NOT TO SCALE

**NOTES**

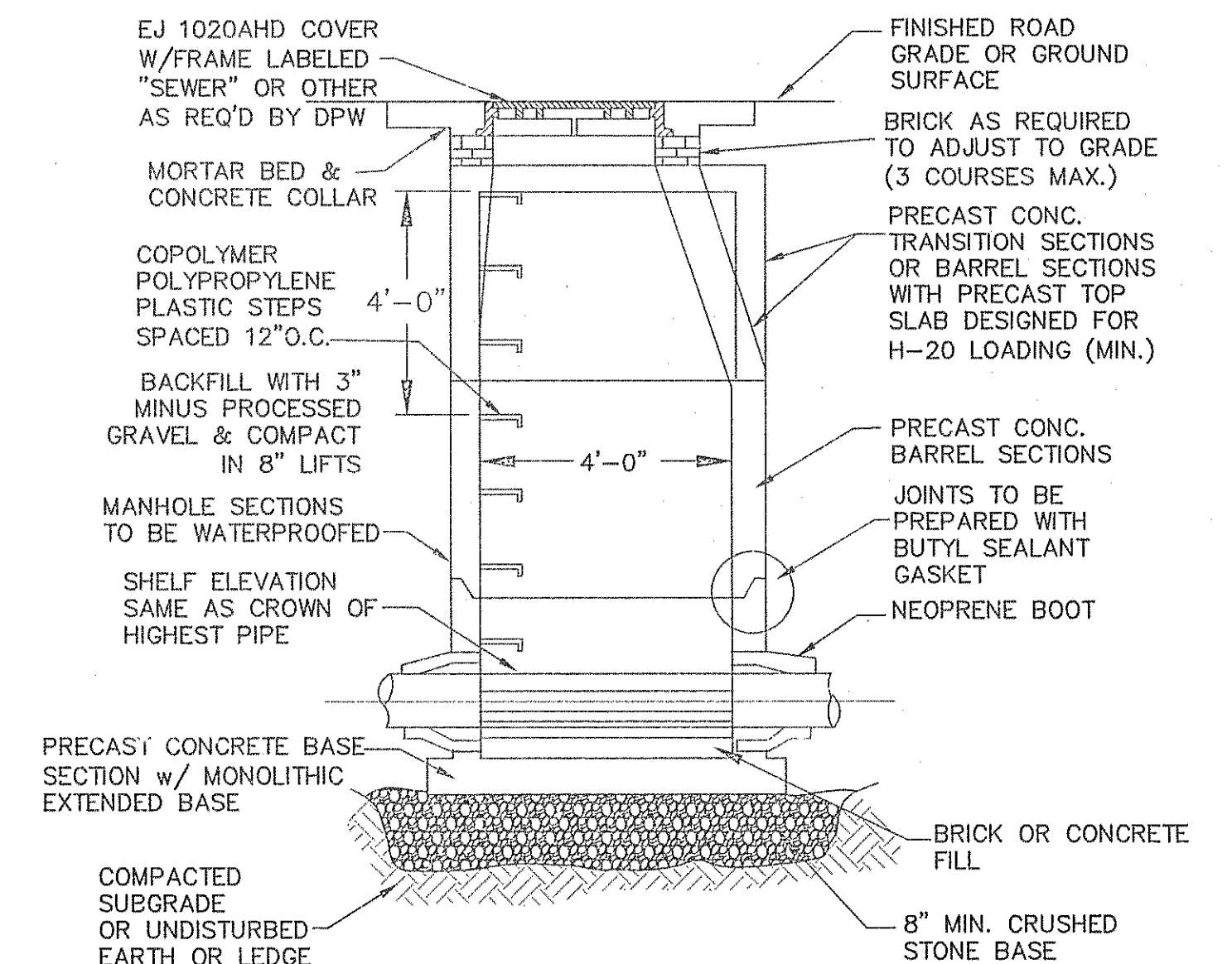
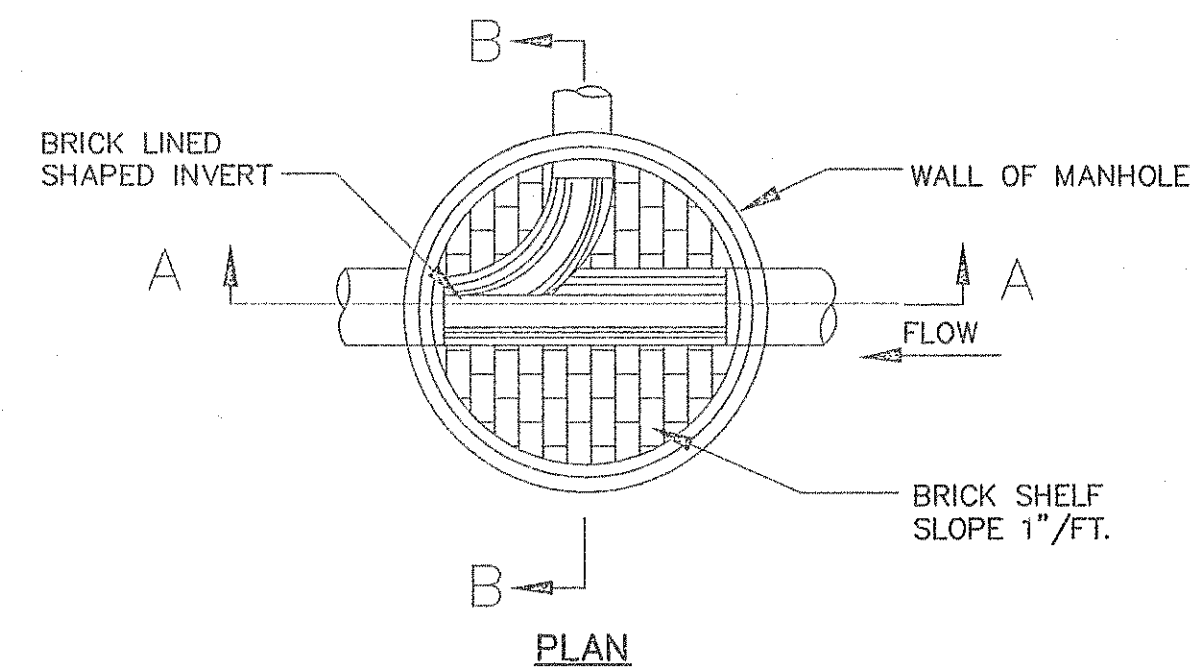
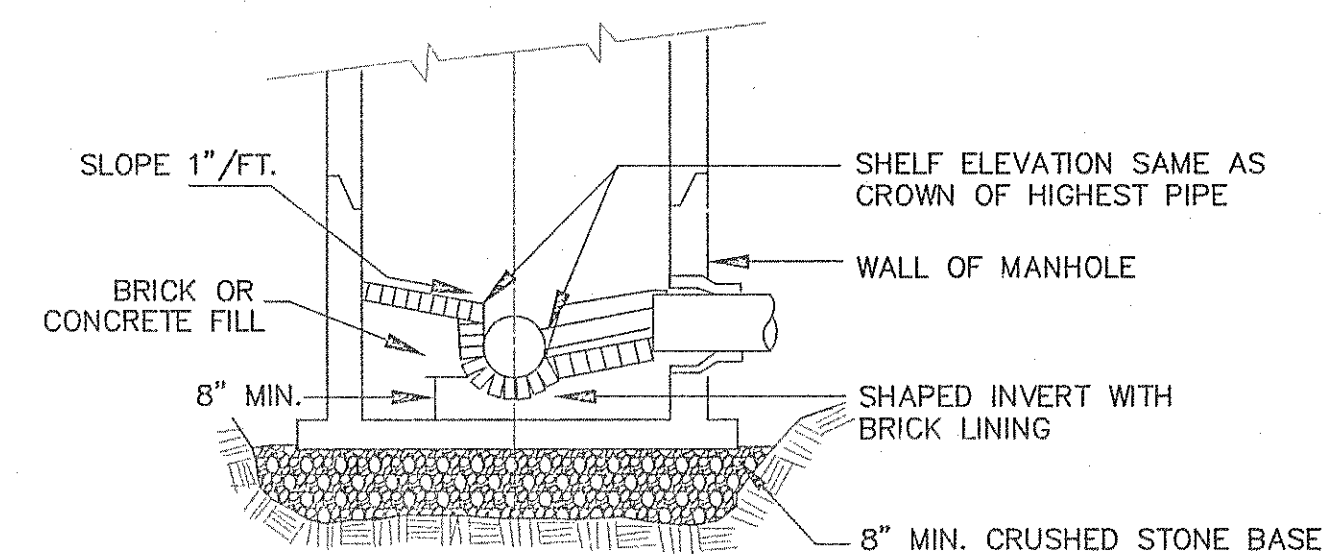
- CONCRETE: 5,000 PSI 28 DAY COMPRESSIVE STRENGTH.
- STEEL REINFORCEMENT: ASTM A-615, GRADE 60.
- DESIGN LOADING: AASHTO HS20-44.
- CONSTRUCTION JOINT TO BE SEALED WITH 1" DIA. BUTYL RUBBER OR EQUAL.
- GENERAL CONTRACTOR TO VERIFY ALL OPENINGS, SIZES AND LOCATIONS.
- ACCESS COVERS AND FRAMES TO BE HEAVY DUTY CAST IRON AND WATERTIGHT. RISERS SHALL BE H-20 AND WATERTIGHT.



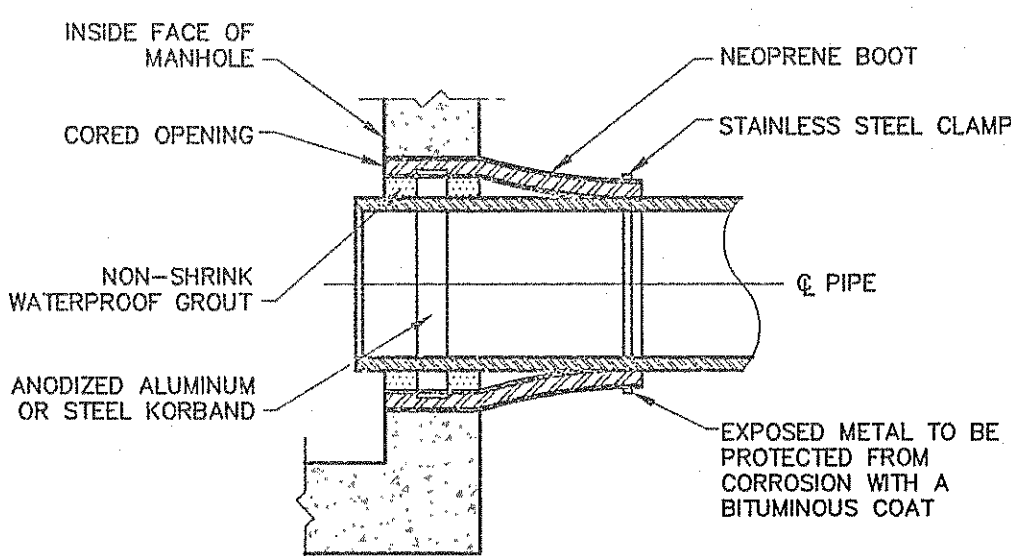
**DUPLIX PUMPS ON SLIDE RAIL SYSTEM**



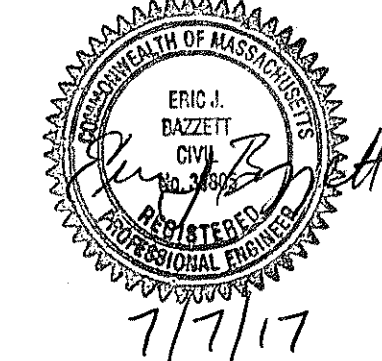
**SEWER PUMP CHAMBER**  
NOT TO SCALE



**PRECAST SEWER MANHOLE**  
NOT TO SCALE



**SEWER PIPE CONNECTION**  
NOT TO SCALE



**HERITAGE DESIGN GROUP**

PLANNERS • SURVEYORS • ENGINEERS  
LANDSCAPE ARCHITECTS  
ONE MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588  
TEL 508-266-2066 • FAX 508-266-2067  
A LIMITED LIABILITY COMPANY

**Applicant**  
Nature's Remedy of Massachusetts, Inc.  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

**Owner of Record**  
85 Green Street Limited Partnership  
PO Box 55  
Worcester, Massachusetts 01613-0055

**ASSESSORS IDENTIFICATION**  
110 / 005.0-0000-0001.J

**SITE PLAN APPROVAL & SPECIAL PERMIT**  
GRAFTON PLANNING BOARD

**BEING A MAJORITY DATE**

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
3	7/7/17	CLIENT & GRAVES REVIEW	EJB
2	6/19/17	PLANNING COMMENTS	EJB
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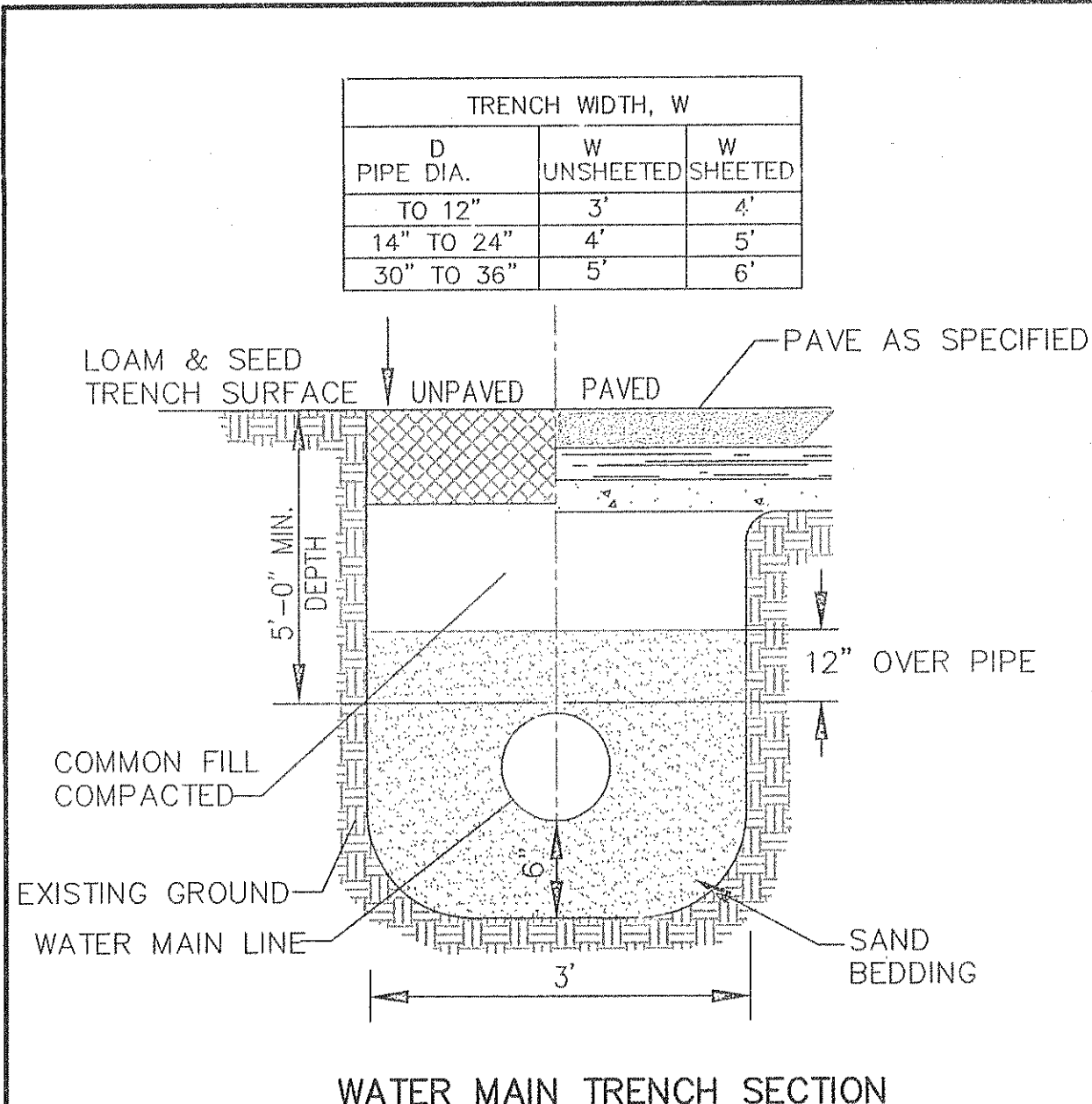
**8 Millennium Drive**  
**Site Plan**  
In The Town Of  
**Grafton, Massachusetts**  
For  
**Nature's Remedy**  
**of Massachusetts, Inc.**  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

**SCALE: 1" = 40' DATE: May 8, 2017**

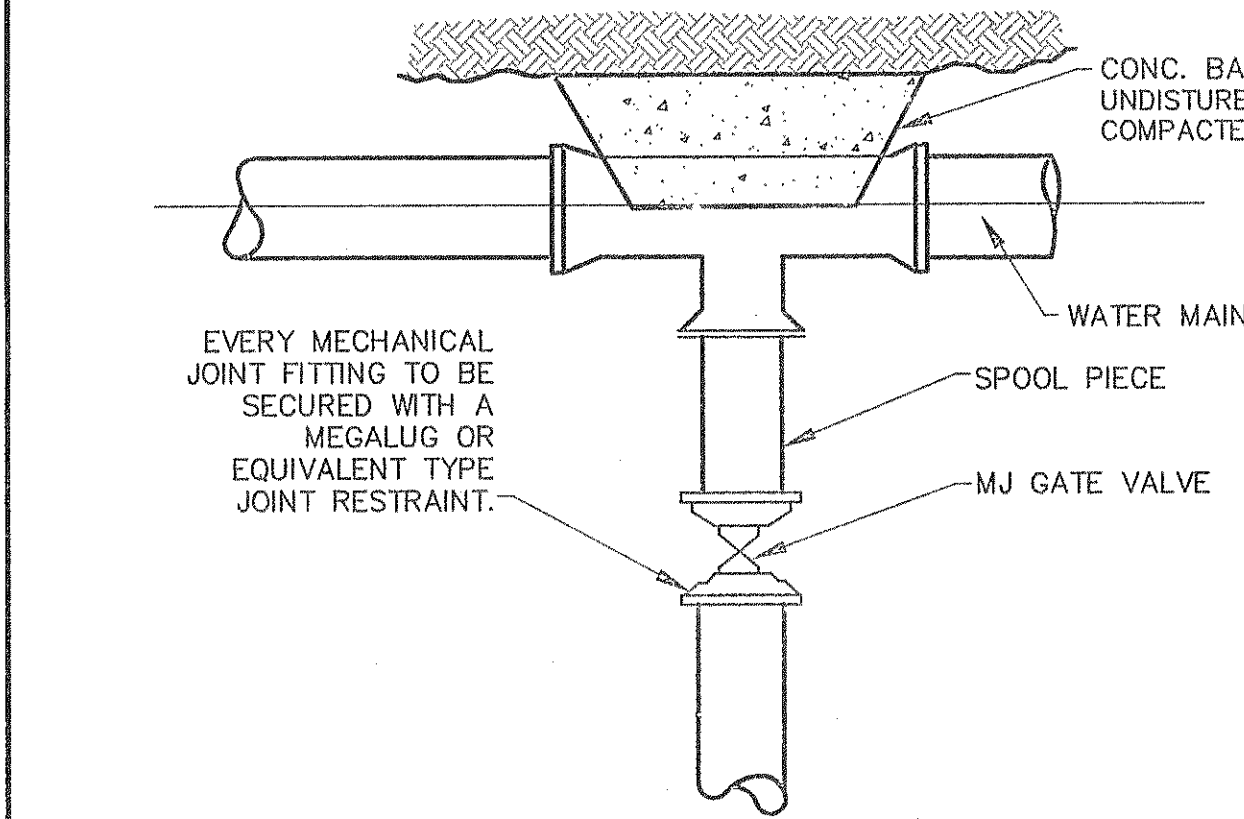
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**DRAWN BY: EJB CHECKED BY: MEA**

**CONSTRUCTION DETAILS 2**  
**SHEET 11 OF 12**



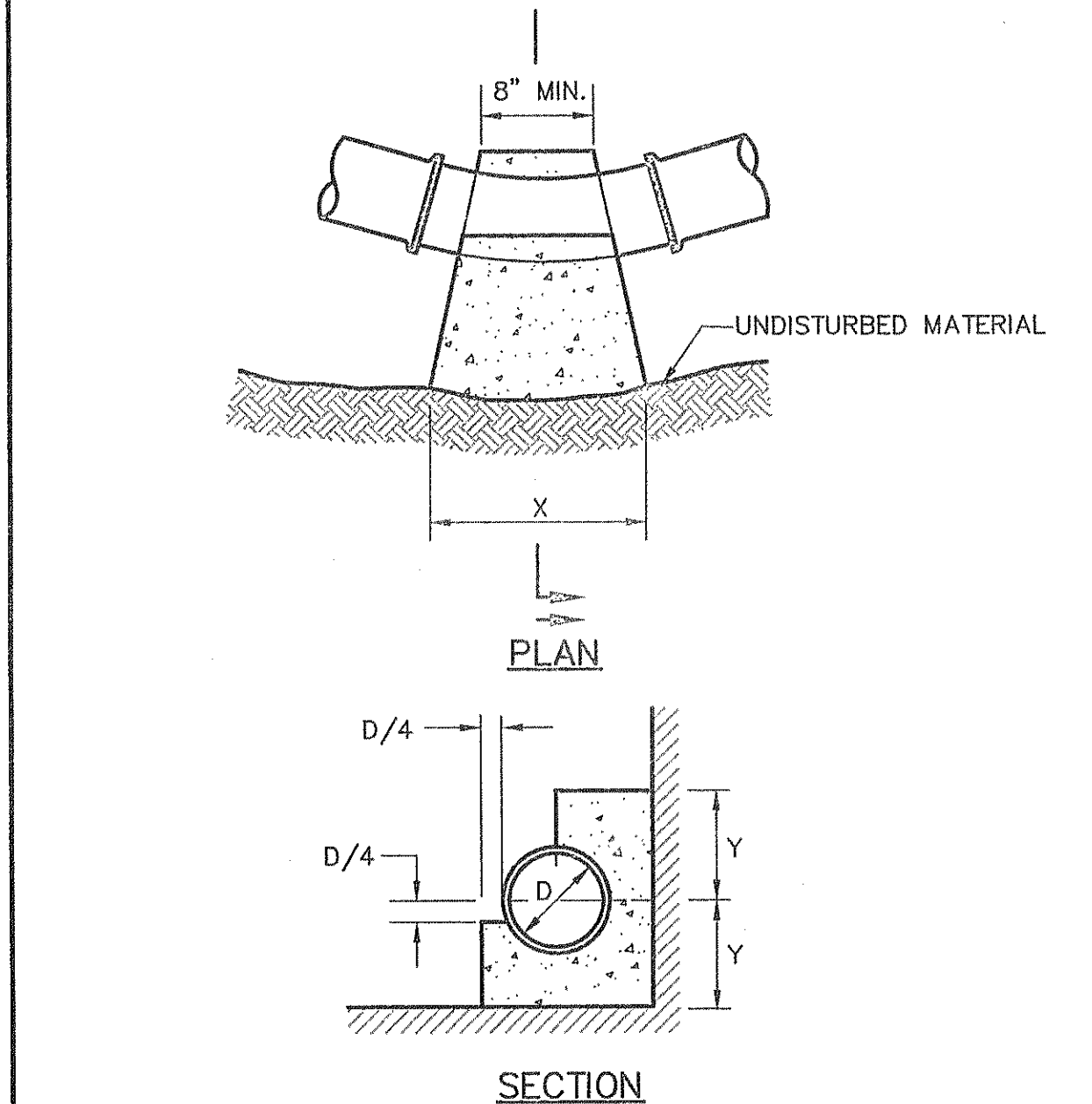


**WATER MAIN TRENCH SECTION**



**TYPICAL VALVE CONNECTION-RESTRAINED JOINT TEE**

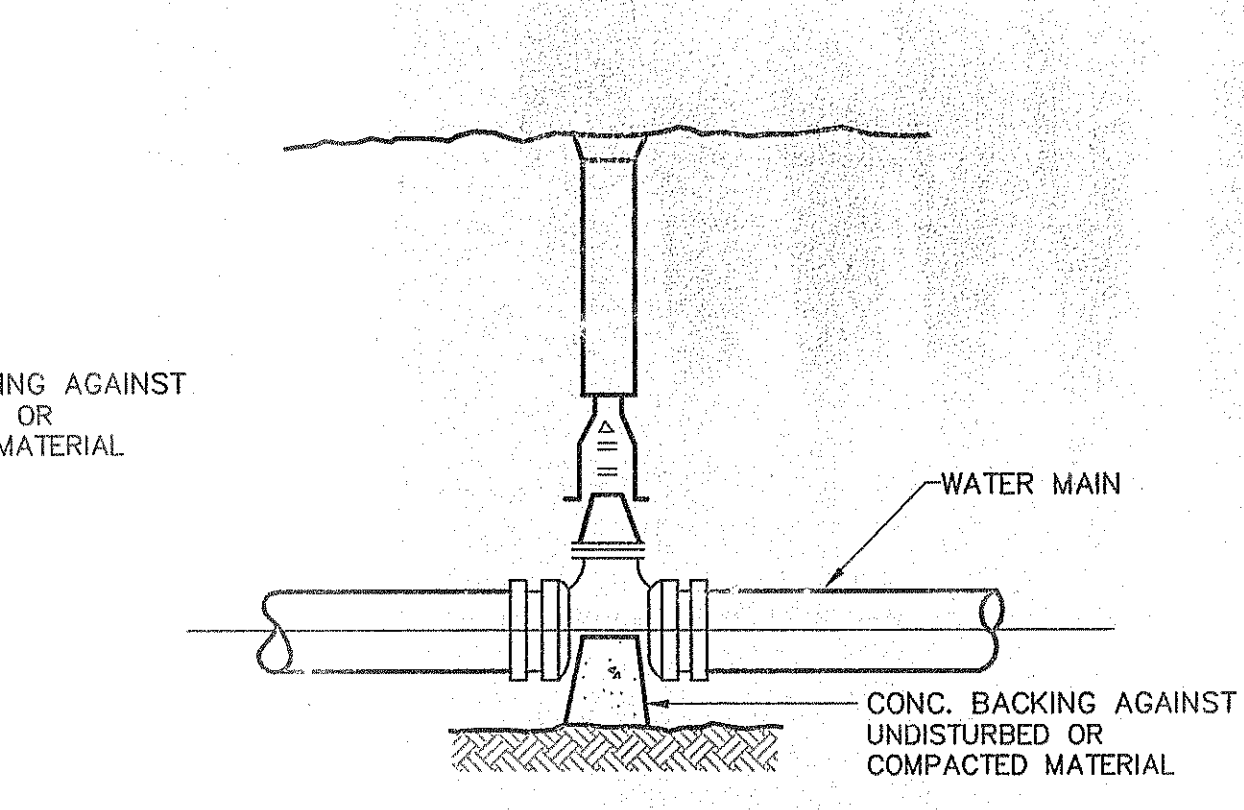
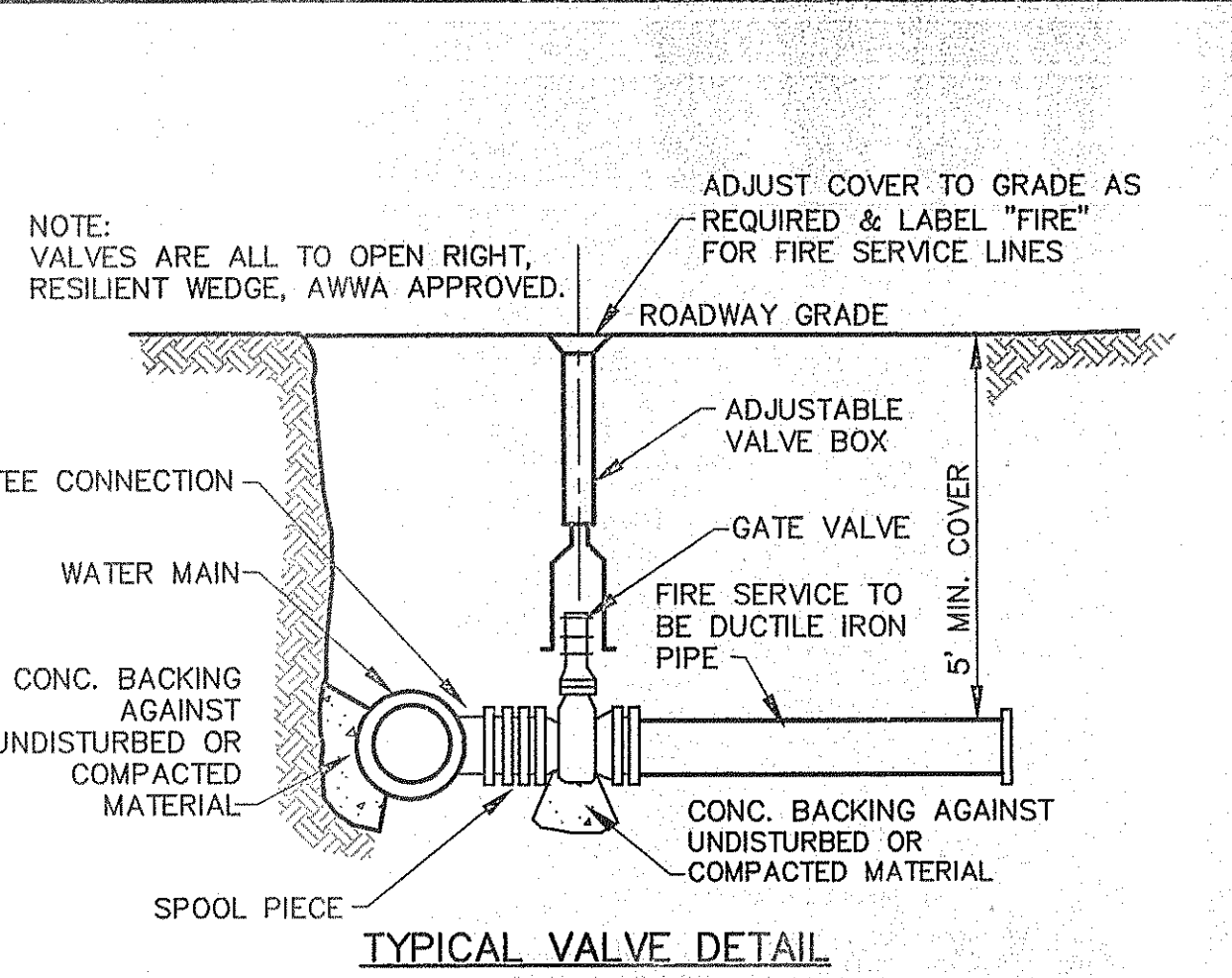
**WATER SUPPLY DETAILS**  
NOT TO SCALE



BENDS AND SIZE OF MAINS									
11" BEND			22 1/2" BEND			45° BEND			
D	4"	6"	8"	4"	6"	8"	4"	6"	8"
X	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
Y	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-7"

**NOTE:**  
1. DIMENSIONS FOR THRUST BLOCKS ARE MINIMUM.  
2. CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.  
3. ALL CONCRETE SHALL BE CLASS 3500 P.S.I. IN 28 DAYS.

**THRUST BLOCKS**  
NOT TO SCALE

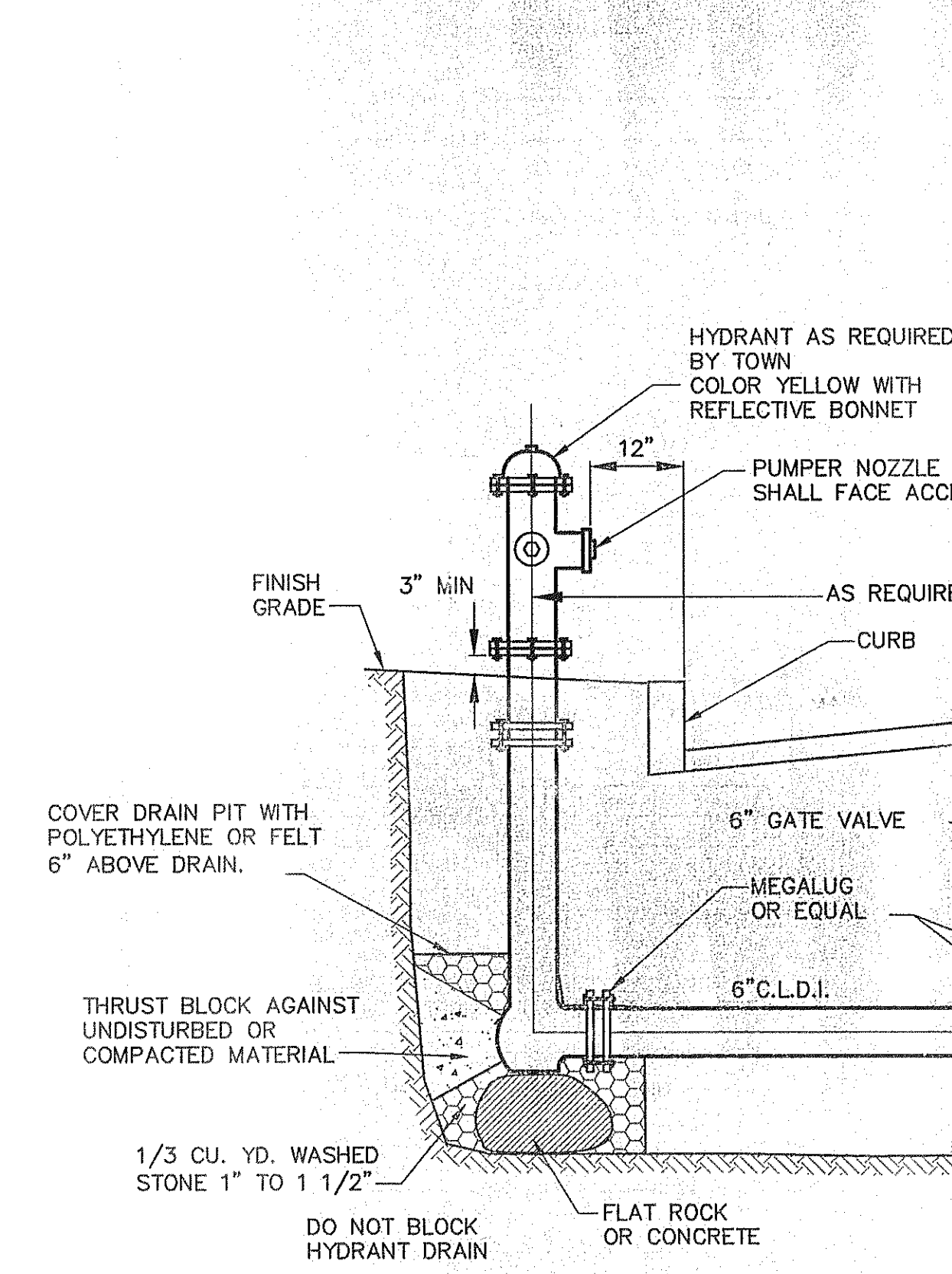


**TABLE OF BEARING AREAS IN S.F. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS**

SIZE OF MAIN (IN.)	45° BEND	TEES & PLUGS	22 1/2° BEND
8" & LESS	8	10	8
10" & 12"	22	16	13

**VALVE BEARING AREAS**

**WATER SUPPLY DETAILS**  
NOT TO SCALE



**HYDRANT BRANCH ASSEMBLY**  
NOT TO SCALE

**LAREDO SERIES**  
LMC-30LEDs

Cal. #	Job	Type	Approvals

**SPECIFICATIONS**  
**Intended Use:**  
Full cut-off LED complete packages or may be lighting for 10-18ft mounting heights that require high light output and maximum energy efficiency. Laredo LMC-30 LED wallpack provides low maintenance levels with little or no maintenance and up to 100,000+ hours of life. Ideal for schools, factories, hospitals, warehouses and retail applications.

**Construction:**  
Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for over 70% lumen maintenance at 50,000 hours minimum LED life. Laredo LED wallpack provides low maintenance levels with little or no maintenance and up to 100,000+ hours of life. Ideal for schools, factories, hospitals, warehouses and retail applications.

**Optical/Electrical:**  
**LED:**  
30 High power LEDs delivers up to 7300 lumens at 700mA and up to 3480 lumens at 350mA. Variety of distributions - Types I, II and III & IV through high CRI LEDs provide excellent color rendition with up to 100 lumens per watt efficiency.

**LMC-30LI Motion Sensor**  
Designed to meet or exceed the minimum req./recomm. All LED mounting height the covers 16'x16' area, wall mounted for 16'x16' standard. No night, external test button, 120V or 277V only. Rated 20° C to 35° C.

**LMC-30LU Egress Wallpack:**  
Designed to meet or exceed the minimum req./recomm. All LED mounting height the covers 16'x16' area, wall mounted for 16'x16' standard. No night, external test button, 120V or 277V only. Rated 20° C to 35° C.

**Warranty:**  
Five year limited warranty for more information visit <http://www.sprillinglighting.com/warranty>

**Controls:**  
Directs as 0-10V dimming standard. Photocell and occupancy sensor options available for complete on/off and dimming control.

**Listings:**  
• Listed to UL 1598 for wet locations  
• 40° C ambient environments  
• U.S. Patent No. 6,963,567  
• Design Patents Granted (D.C.) registered.  
Consult D.C. website for more details: <http://www.designpatents.org/DCA>

**Dimensions:**  
A: 16.0" (406 mm)  
B: 12.125" (308 mm)  
C: 8.0" (229 mm)

**WALLPACK LIGHTING**

**M3 - Mitre™ Wall Sconce**

1. LUMINAIRE	2. COLOR	3. OPTIONS

**1. LUMINAIRE**  
M3-CF (Wall sconce with 120/277V electronic ballast for use with a 26, 32, or 42-watt pin, 2-pin fluorescent lamp. Specify wattage - 18" C.O.D. ballast only)

**2. COLOR**  
WH: Arctic White  
BL: Black  
DL: Matte Black  
DR: Dark Bronze  
DGR: Dark Green  
TT: Titanium  
WDB: Weathered Bronze  
MDS: Bronze Metallic

**3. OPTIONS**  
BBU (Battery Backup) is a backup power source for up to 50 minutes during a power outage. (Optional 18" C.O.D. ballast only)

**SPECIFICATIONS**  
**HOUSING**  
The fixture shall be one-piece cast 356 aluminum with a minimum wall thickness of .188 inch. The housing shall mount to a 3/32 inch wide edge of wall box. The lens is clear CR acrylic, sealed to the housing with a silicone gasket. The fixture is illuminated by four captive stainless steel LEDs.

The optical assembly shall consist of a die formed, specular Alzak® reflector with forward throw optics. The reflector is easily removed for easy access to the ballast.

The ballast shall be electronic, rated for -18°C starting with a 4 pin, 26, 32 or 42 watt lamp socket. The ballast is factory mounted and wired in the housing.

The fixture is attached with two stainless steel screws to an adapter ring that mounts to a 3/8 inch wide edge of wall box. Adapter ring and hardware are included. Fixture is available in the down position only.

**FINISH**  
The fixture finish consists of a five stage pre-treatment system with a polymer primer, seal, or a dry oil and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 600-2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

**CERTIFICATION**  
This fixture is listed with ETL for outdoor, wet location use, UL1598 and Canadian CSA Std. C22.2 no.250.

**ENTRANCE LIGHTING**

**CLIENT: NATURE'S REMEDY OF MASSACHUSETTS, INC.**

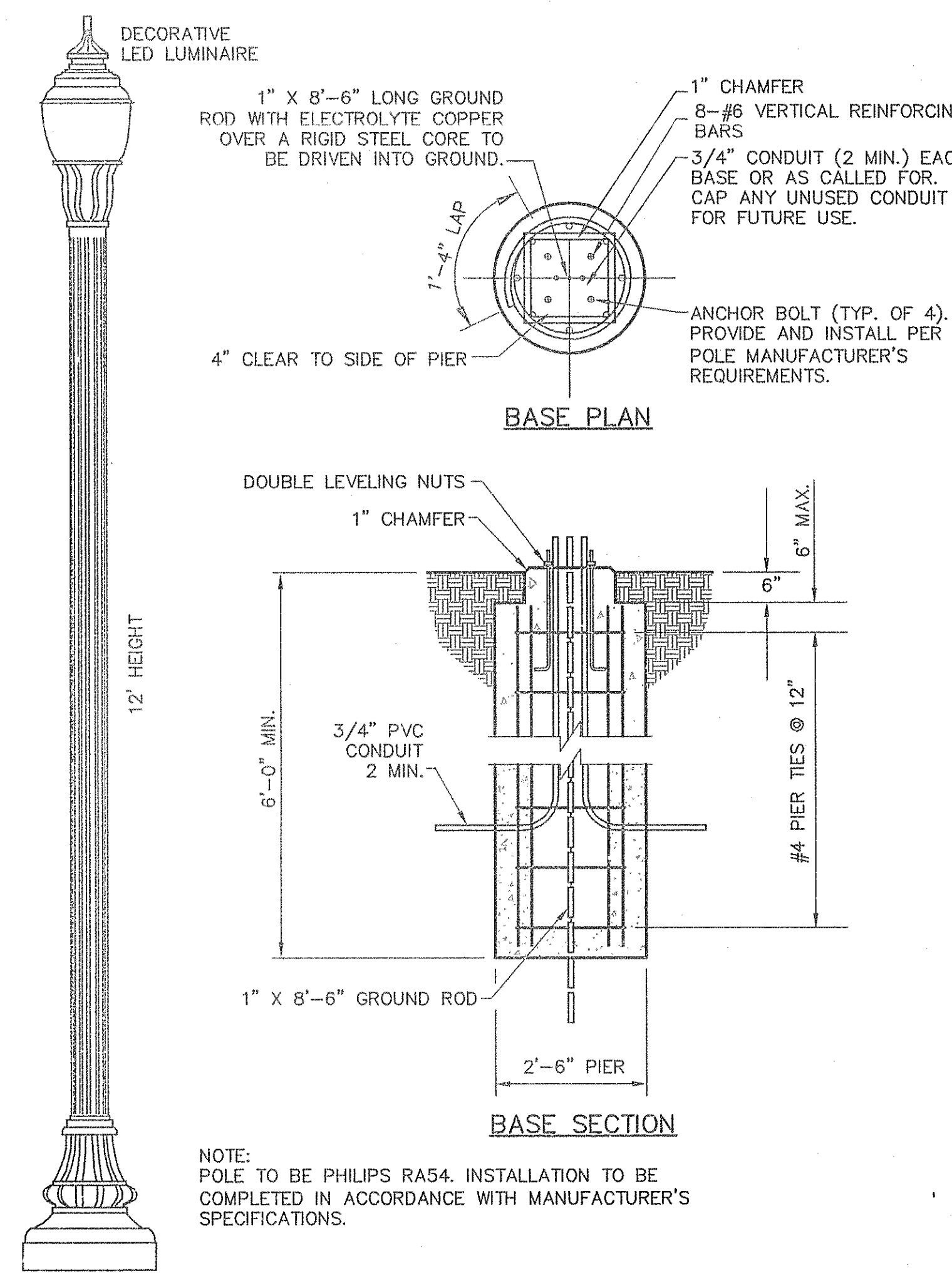
121 Westboro Road North Grafton, MA 01536 P 508.839.5548 F 508.839.0925 www.sunshinesign.com	PROJECT / SIGN TYPE: TEMPLATE DRAWN BY: LBG JOB #: TEMPLATE DATE: MONTH DAY, 2017
----------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------

**PALETTE**  
PAINT: Gold Metallic  
PAINT: Forest Green  
PAINT: Lt Sage Yellow  
PAINT: Lt Tan

**QUANTITY (1)**  
Concept for Nature's Remedy of Massachusetts, Inc. S/F sign with dimensional letters. Pylons are 18" with decorative trim.

**APPROVED FOR FABRICATION**  
☐ Approved for Fabrication  
☐ Revise and Resubmit  
☐ Approved as Noted  
☐ Rejected

**SIGN TYPE: A**



**LIGHTPOLE & BASE**  
NOT TO SCALE

**CLIENT: NATURE'S REMEDY OF MASSACHUSETTS, INC.**

**PROJECT / SIGN TYPE: TEMPLATE**

**DRAWN BY: LBG**

**JOB #: TEMPLATE**

**DATE: MONTH DAY, 2017**

**PALETTE**  
PAINT: Gold Metallic  
PAINT: Forest Green  
PAINT: Lt Sage Yellow  
PAINT: Lt Tan

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**SIGN TYPE: A**

**HERITAGE DESIGN GROUP**  
PLANNERS • SURVEYORS • ENGINEERS  
LANDSCAPE ARCHITECTS  
ONE MAIN STREET  
WHITINSVILLE, MASSACHUSETTS 01588  
TEL 508-266-2066 • FAX 508-266-2067  
A LIMITED LIABILITY COMPANY

**Applicant**  
Nature's Remedy of Massachusetts, Inc.  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

**Owner of Record**  
85 Green Street Limited Partnership  
PO Box 55  
Worcester, Massachusetts 01613-0055

**ASSESSORS IDENTIFICATION**  
110 / 005.0-0000-0001.J

**SITE PLAN APPROVAL & SPECIAL PERMIT**  
GRAFTON PLANNING BOARD

**BEING A MAJORITY** **DATE**

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
3	7/7/17	CLIENT & GRAVES REVIEW	EJB
2	6/19/17	PLANNING COMMENTS	EJB
1	6/6/17	CONSERVATION REVIEW	EJB

**8 Millennium Drive**  
**Site Plan**  
In The Town Of  
**Grafton, Massachusetts**  
For  
**Nature's Remedy of Massachusetts, Inc.**  
497 Hookset Road, Suite 190  
Manchester, New Hampshire 03104

**SCALE: 1" = 40'** **DATE: May 8, 2017**

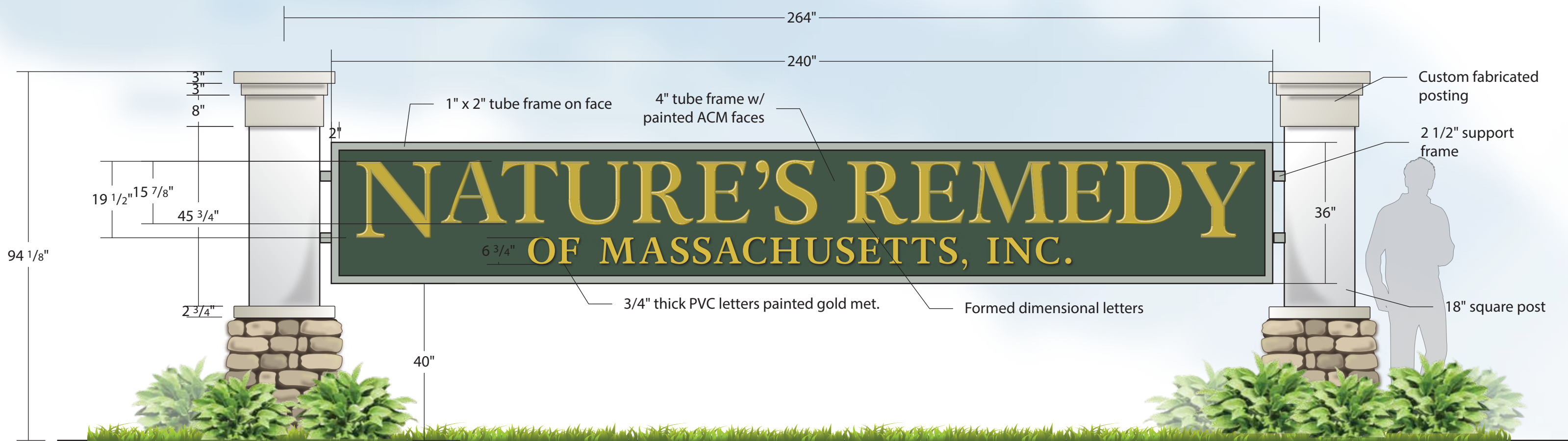
**JOB NUMBER: 2016-063** **DRAWING FILE NAME: -SP1**

**DRAWN BY: EJB** **CHECKED BY: MEA**

**CONSTRUCTION DETAILS 3**  
**SHEET 12 OF 12**



CONCEPT ONLY  
NOT FOR PRODUCTION



1 front  
1/2" = 1'-0"

SIGN TYPE A

Main ID

**Quantity (1)**

Concept for Nature's Remedy of Massachusetts, Inc.  
S/F sign with dimensional letters. Pylons are 18"  
with decorative trim.

PALETTE

	<b>PAINT:</b> Gold Metallic		<b>PAINT:</b> Lt tan
	<b>PAINT:</b> Foreste Green		
	<b>PAINT:</b> Lt Sage trim		

CLIENT: NATURE'S REMEDY OF MASSACHUSETTS, INC.

PROJECT / SIGN TYPE: TEMPLATE

DRAWN BY: LRG

JOB #: TEMPLATE

DATE: MONTH DAY, 2017

SUNSHINE  
sign

121 Westboro Road  
North Grafton, MA 01536  
P 508.839.5588  
F 508.839.9929  
www.sunshinesign.com

This drawing is given in confidence and may not be used  
or disseminated in any way without prior written  
consent from Sunshine Sign Company, Inc. All common  
law and copyright laws are hereby specifically reserved.

☐ Approved for Fabrication

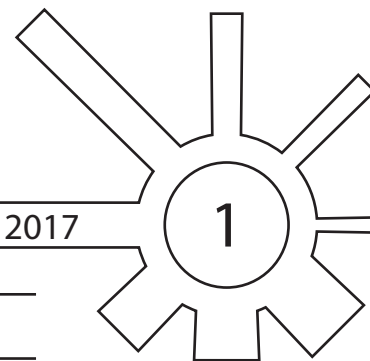
☐ Approved as Noted

☐ Revise and Resubmit

☐ Rejected

Name

Signature



SIGN TYPE: A





FRONT ELEVATION

# NATURE'S REMEDY OF MASSACHUSETTS

8 MILLENNIUM DRIVE  
GRAFTON, MA 01536